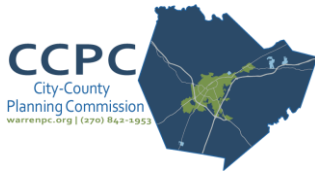


URBAN GROWTH OVERLAY DEVELOPMENT PLAN STAFF REPORT



Docket Numbers: ODP-03-2018
Public Hearing Date: March 21, 2018
Pre-Application Conference: February 13, 2018

Description of Request: The applicants have applied for approval of an Overlay Development Plan on a portion of a tract of land containing 4.46 acres located off of Lovers Lane. The plan proposes the construction of an office, club house, maintenance barn, pool house and mail house for the Hub development.

Applicant/Property Owner:

Chandler Residential, LLC.
 2600 Chandler Drive
 Bowling Green, KY 42104

Applicant/Developer:

B. L. Bennett and Associates, Inc.
 c/o Brent Easley
 6596 Highway 100
 Nashville, TN 37205

Location of Property: Lovers Lane

PVA Parcel Number: portion of 052A-18

Current Zoning: **HB** (Highway Business) and **RM-4**
 (Multi-Family Residential)

Property Size: 4.46 acres

Existing Land Use: Agricultural

DEVELOPMENT PLAN REVIEW

The applicants have submitted an Urban Growth Overlay Development Plan (see attached) to be reviewed for compliance with the following Binding Elements recorded in Deed Book 1145 Page 941 (Multi-Family Residential):

- 1) All buildings, including residential, on the property will be constructed of materials in accordance with Article IV, Section F(9) of the Zoning Ordinance.
- 2) All utilities will be located underground.
- 3) The Property will be developed with open space as required by the Lovers Lane Overlay District provisions and the landscape provisions of the Zoning Ordinance of Warren County, Kentucky. The property will be developed with a greenway trail that may vary in width throughout the property, but will not be less than five (5) feet.
- 4) The Property will be developed with a maximum of two access points to/from Lovers Lane. A primary roadway will be constructed into the development from Lovers Lane adjacent to Lot 1-1 as depicted on plat of record in Plat Book 42, Page 102, in the office of the Warren County Clerk. The roadway will be serviced by a right turn lane from Lovers Lane.
- 5) A traffic signal will be installed at the intersection of this primary roadway and Lovers Lane, the cost of which shall be shared between Chandler Residential, LLC, and Greenhills Development Partners, LLC. The signal will be serviced by underground utility connections and will be supported by mast arms consistent with those currently used on Lovers Lane. A secondary right in-right out access to/from Lovers Lane will be constructed adjacent to Lot 2 as depicted on plat of record in Plat Book 42, Page 60, in the office of the Warren County Clerk. The roadway will be serviced by a right turn lane from Lovers Lane.
- 6) The property will be developed with curb, gutter and five (5) foot sidewalks on both sides of the street.
- 7) The Property will be developed with uniform street light poles of fiberglass, composite or metal materials. All street infrastructures (lights, mailboxes, benches, etc.) shall be approved by the Urban Design Review Board established in connection with the Overlay District Provisions of the Zoning Ordinance of Warren County, Kentucky.
- 8) Lighting for parking areas and interior travel ways other than public streets shall be designed to focus downward and to minimize light trespass onto adjacent residential properties.
- 9) No building or improvement shall exceed four (4) stories in height.
- 10) No more than eight hundred (800) dwelling units shall be constructed.

DEVELOPMENT PLAN REVIEW (Continued)

The applicants have submitted an Urban Growth Overlay Development Plan (see attached) to be reviewed for compliance with the following Binding Elements recorded in Deed Book 1145 Page 933 (Highway Business):

- 1) All buildings will be constructed with materials as required by Article IV, Section F(9) of the Zoning Ordinance except that no hardy board or vinyl siding shall be used.
- 2) All utilities will be located underground.
- 3) The Property will be developed with open space as required by the Lovers Lane Overlay District provisions and the landscape provisions of the Zoning Ordinance of Warren County, Kentucky. The property will be developed with a greenway trail that may vary in width throughout the property, but will not be less than five (5) feet.
- 4) The Property will be developed with a maximum of two access points to/from Lovers Lane. A primary roadway will be constructed into the development from Lovers Lane adjacent to Lot 1-1 as depicted on plat of record in Plat Book 42, Page 102, in the office of the Warren County Clerk. The roadway will be serviced by a right turn lane from Lovers Lane.
- 5) A traffic signal will be installed at the intersection of this primary roadway and Lovers Lane, the cost of which shall be shared between Chandler Residential, LLC, and Greenhills Development Partners, LLC. The signal will be serviced by underground utility connections and will be supported by mast arms consistent with those currently used on Lovers Lane. A secondary right in-right out access to/from Lovers Lane will be constructed adjacent to Lot 2 as depicted on plat of record in Plat Book 42, Page 60, in the office of the Warren County Clerk. The roadway will be serviced by a right turn lane from Lovers Lane.
- 6) The property will be developed with curb, gutter and five (5) foot sidewalks on both sides of the street.
- 7) The Property will be developed with uniform street light poles of fiberglass, composite or metal materials. All street infrastructures (lights, mailboxes, benches, etc.) shall be approved by the Urban Design Review Board established in connection with the Overlay District Provisions of the Zoning Ordinance of Warren County, Kentucky.
- 8) Lighting for parking areas and interior travel ways other than public streets shall be designed to focus downward and to minimize light trespass onto adjacent residential properties.
- 9) The following uses shall be prohibited: adult entertainment establishments, night clubs, bars and lounges which derive less than 50 percent (50%) of their income from food sales, outdoor storage (Type 3 and Type 4); self-storage units; manufactured home and model home sales lots; all light and heavy industrial uses; commercial active outdoor lighted sports facilities; vehicle repair, aviation or surface passenger terminals; major entertainment venue; vehicle/boat/motorcycle sales, vehicle/truck repair and service; commercial parking; petroleum sales; bingo parlors; and tattoo parlors.

ZONING ORDINANCE REVIEW

Section 3.18.1 of the **Zoning Ordinance** states the following:

Overlay Development Plan Required: Prior to the application for any building permits for new construction or exterior improvements within any Urban Growth Overlay District, an Overlay Development Plan shall be submitted for approval by the Design Review Board.

Section 4.9.1 of the **Zoning Ordinance** states the following:

General: Where an overlay district and the underlying or base zoning district have different standards or regulations, the most restrictive standards or regulations pertaining to that land shall apply.

URBAN GROWTH OVERLAY DISTRICT REVIEW

Section 4.9.3.A of the **Zoning Ordinance** states the following:

Purpose and Intent. The Urban Growth Overlay District is intended to implement focal points for growth areas, to promote innovative, attractive and efficient use of land, to encourage planned development and multi-modal transportation systems and to permit flexibility and creativity in the design of such planned development. The purpose of this ordinance shall include, but not be limited to the following:

1. To encourage and promote the public health, safety and general welfare of the citizens of the City and County, including the development and coordination of municipal growth and services.
2. To encourage originality, flexibility, innovation in site planning and development, and vehicular and pedestrian circulation, including the architecture, landscaping and graphic design of proposed developments in relation to the area as a whole.
3. To discourage monotonous, unsightly, and inharmonious developments, minimize discordant and unsightly surroundings and visual blight, and avoid inappropriate and poor quality design.
4. To promote orderly community growth, protect and enhance property values for the community as a whole and other environmental and aesthetic considerations which generally enhance rather than detract from community standards and values of the comfort and prosperity of the community and the preservation of its natural beauty and other natural resources, which are the proper concern of local government, and to promote and enhance construction and maintenance practices that will tend to enhance environmental and aesthetic quality for the community as a whole.

Section 4.9.3.F. of the **Zoning Ordinance** states the following:

Development Standards - Lovers Lane (KY 880) Overlay District: Buildings should reflect an individual design that has considered site location, conditions, and surrounding development. For all developments within the overlay district, other than single-family residential or agriculture, the following technical standards shall apply:

URBAN GROWTH OVERLAY DISTRICT REVIEW (Continued)

1. General Development Standards. All building setbacks are measured from the right-of-way.

a. Minimum required lot size on sanitary sewer shall be one-half acre.

The proposed development will be connected to sanitary sewer. Proposed Phase 3 will be 4.46 acres. Phase 1 and Phase 2 total 37.05 acres, with the entire development being on 41.51 acres.

b. Minimum required front building setback abutting a local street shall be 25 feet.

This proposed phase of the development is zoned HB (Highway Business) and RM-4 (Multi-Family Residential) and meets the requirement of the front building setback of 25 feet. The maintenance barn is 33.6 feet from the front property line and the mail house is 38.9 feet from the front property line.

c. Minimum required rear building setback shall be 10 feet.

The pool house is 54.3 feet from the rear property line.

d. Minimum required side building setback (not on corner lot) shall be 20 feet.

The side setbacks are 32.3 feet (office), 53.8 feet (clubhouse) and 24.3 feet (mail house) from the property line.

e. Minimum side building setback for corner lots abutting a local street shall be 20 feet.

f. Minimum front building setbacks abutting Lovers Lane (KY880) shall be 50 feet.

g. Minimum front, side and rear building setbacks abutting an existing single family residential district shall be 50 feet.

h. Minimum building setbacks abutting Interstate 65 shall be 50 feet.

i. A portion of the Airport Overlay District is within this Urban Growth Overlay District. The Airport Overlay District outlines the area within proximity of the Bowling Green-Warren County Airport that is under the jurisdiction of the Kentucky Airport Zoning Commission (KAZC) (see Exhibit F in Appendix A). The underlying zoning restrictions, including height requirements, is governed by this ordinance; however, there may be additional restrictions on development in this area placed by the KAZC.

Prior to applying for a building permit, the applicant should consult the Kentucky Airport Zoning Commission (KAZC) for any additional restrictions for the development. The proposed buildings are one (1) and two (2) stories ranging in heights from 15'7" to 38'.

j. Maximum usable lot area.

(1) The maximum surface land area of the building shall not exceed 50 percent of the total lot area. Parking areas, open courts and other open space uses shall not be included in building area.

The proposed buildings in Phase 3 will cover 26,731 square feet, 14 percent or 0.62 acres of the property. Proposed buildings for Phase 1 and Phase 2 together total 443,479 square feet, 25 percent or 10.38 acres of the development to date. Total proposed buildings will cover 470,210 square feet, 26 percent or 10.8 acres of the development.

URBAN GROWTH OVERLAY DISTRICT REVIEW (Continued)

- (2) For all uses permitted within this overlay district, no more than 75 percent of the total surface land area of the lot shall be improved with buildings, structures, parking and loading areas, streets, driveways or roadways.**

The proposed development in Phase 3 will cover 123,212 square feet, 63.4 percent or 2.83 acres of the property. Proposed development including Phase 1 and Phase 2 will cover 1,053,732 square feet, 58.8 percent or 24.4 acres of the development to date.

k. Green space area.

- (1) All sites shall be developed with not less than 25 percent of the total area with green space. Green space shall be landscaped with trees, green shrubbery, grass and/or other plantings exclusive of any plantings or landscaping treatment in parking lot islands measuring less than 200 square feet. Such green space shall be Located on the site to provide the maximum visibility of the green space to surrounding properties and public streets. No more than 50 percent of the required green space may be located within drainage facilities.**

The proposed development in Phase 3 will have 36.6 percent or 1.63 acres of green space. Proposed development including Phase 1 and Phase 2 will have 41.2 percent or 17.1 acres of green space.

- 2. Landscape Buffer Standards. All adjoining non-residential property located within the Overlay District shall be required to provide a landscape plan. Also, in locations where property zoned non-residential and residential are adjacent (either immediately adjacent to or across a public right-of-way), a landscape plan will be required with the development of either site. This shall not apply to the development of one and two family homes. When a site development plan is submitted for the review and consideration of the Design Review Board, special care shall be taken to minimize the effects on the adjacent residential area.**

- a. The following shall be considered minimum standards for the development of landscape plans for required buffers/screens and interior vehicle use areas:**

(1) A minimum 25-foot buffer strip shall be required on the outer perimeter of the nonresidential building lot abutting the property currently zoned for residential or agricultural use or development. No travelways, vehicle use areas (VUA), outdoor display areas, structures or storage of material shall be allowed within the buffer strip.

(2) A minimum 20 foot buffer strip shall be required along KY 880 (Lovers Lane).

(3) A minimum 10 foot buffer strip shall be required on each lot between all other parcels regardless of zoning or use.

The submitted landscape plan meets this requirement.

- (4) All vehicle use areas (VUA) shall be required to provide a minimum of five percent (5%) of the interior of the VUA in landscape islands, as defined in Article 4.6.8.D. of this ordinance.**

URBAN GROWTH OVERLAY DISTRICT REVIEW (Continued)

The total VUA is 33,540 square feet. To provide the required minimum of five (5) percent of the interior of the VUA in landscape islands, would require 1,677 square feet of landscape islands. The proposed landscaping plan meets this requirement by providing 3,790 square feet or 11.3 percent.

(5) All allowable outdoor display areas shall comply with the buffer width requirements, as described above, and be setback a minimum of twenty (20) feet from any right-of-way. Screening of any outdoor display area(s) from a common property line or right-of-way shall be planted to the minimum buffer requirements for incompatible land uses as outlined in Article 4.6.8.D of this ordinance.

(6) All buffer yards as required within the overlay district shall be planted according to the requirements listed in 4.6.8.D.

- b. Prior to the issuance of a building permit, a surety acceptable to the Planning Commission and as outline in Section 4.6.8.D of this Ordinance shall be required.**

A surety would be required prior to the issuance of a Certificate of Occupancy, if the approved landscaping materials have not been installed.

3. Access Limitations.

- a. Within the bounds of this Overlay District, this Ordinance shall strictly comply with the access limitations of the Kentucky Transportation Cabinet for KY 880. In addition, the following access requirements along the Lovers Lane are as follows:**

(1) KY 880 is an “access by permit” facility and access shall comply with the City of Bowling Green’s adopted Traffic Access Management Guidelines.

No access for this development is proposed onto Lovers Lane (KY Hwy 880), but, the development will have access to an internal street. Binding Element number 4 for the property limits the number of access points onto Lovers Lane (KY Hwy 880) to a maximum of two (2) access points.

- b. Joint driveways in commercial and office districts are desirable whenever possible in order to minimize the number of access points to streets.**

- 4. Lighting. Adequate outside lighting shall be provided to ensure safe movement of persons and vehicles and for security purposes. At the same time, such lighting shall be directed downward and arranged so as to minimize glare and reflection on adjacent residential properties and public streets. The Design Review Board may require the submission of a lighting plan by a qualified professional engineer to ensure that the illumination of outside lighting as designed and installed does not exceed one-half (.5) foot candles measured at the property line of abutting property zoned for residential use or development. All freestanding light poles and fixtures shall be black. Suggested lighting styles are as follows:**

- a. Teardrop with optic cutoffs;**
- b. Lantern with prismatic fixtures;**
- c. Bollards for pedestrian access.**

URBAN GROWTH OVERLAY DISTRICT REVIEW (Continued)

The applicants have agreed (Binding Element numbers 7 and 8) that the Property will be developed with uniform street light poles of fiberglass, composite or metal materials. All street infrastructures (lights, mailboxes, benches, etc.) shall be approved by the Urban Design Review Board established in connection with the Overlay District Provisions of the Zoning Ordinance of Warren County, Kentucky. The applicants are proposing lighting fixtures and poles constructed of heavy duty spun aluminum with a polyester powder coat finish, black in color. The proposed light poles and fixtures meet the requirements of the Lovers Lane Overlay District.

- 5. Fence Material.** All proposed fences within the Overlay District (except for single family residential and agricultural lots) must be reviewed and approved by the Design Review Board prior to the issuance of a building permit. Acceptable fence material shall be wood, masonry, stone, vinyl/PVC, tubular steel or aluminum, agricultural fence (for agricultural purposes) and decorative wrought iron. All chain-link fences are prohibited within the Overlay District (except on existing individual single family residential lots). All fences shall be at least four feet in height and not higher than eight feet in height. Suggested fence styles are as follows:
 - a. 4-rail plank
 - b. Masonry columns with wood panels
 - c. Decorative masonry
 - d. Random-faced stone
 - e. Decorative metal
 - f. Agricultural fence for agricultural purposes only.

The applicants are proposing a four (4-rail) rail horse fence to be constructed of black painted wood and located along the main boulevard entrance. The applicants are proposing a 48" in height aluminum picket style fence, black, with self-closing hinges and self-latching gate hardware.

- 6. Signs.** The visual transfer of business advertising and other public information through the use of external signs in this zoning district shall comply with the following sign requirements. All signs, excluding traffic signs, must be approved by the Design Review Board and shall conform to the following uniform sign standards:
 - a. Materials, colors, and shades of proposed signs shall be compatible with the related buildings on the property and must be approved by the Design Review Board. All completed signs must have a high quality professional appearance. Sign materials shall be limited to high quality construction materials such as:
 - (1) Stone, brick, or decorative block
 - (2) Finished wood (painted or stained)
 - (3) Finished metal
 - (4) High quality plastic

The proposed signage for this development has not been finalized. Any signage for the proposed development will have to go through the Design Review Board for approval prior to obtaining a building permit for any proposed signage.

URBAN GROWTH OVERLAY DISTRICT REVIEW (Continued)

- b. Signage shall be limited to one (1) freestanding and one (1) wall sign for each roadway frontage. In cases where there are multiple tenants, each tenant within the property shall be allowed one wall sign on the front building facade.
 - c. Freestanding signs shall be ground-mounted, monument style with proper landscaping and be set back from the road sight triangle as to prohibit obstruction of view.
 - d. Freestanding signs shall not exceed 7 feet in total height and 75 square feet per side, and shall be located in a manner that will not create a traffic hazard. The height of a sign shall be computed as the distance from the base of the sign at a computed grade to the top of the highest attached component of the sign (including the sign face, sign structure, or any other appurtenance). The computed grade shall be the elevation of the nearest point of the crown of the closest public street.
 - e. All wall signs shall not exceed a maximum area of 100 sf or 10% of each facade, whichever is greater.
 - f. External lighting of monument signs shall be concealed and ground-mounted.
 - g. Freestanding pole signs (excluding flag poles) are prohibited. Maximum number of flag poles per site shall be three (3) with a maximum pole height of 40 feet, with the maximum area of each flag not to exceed 50 square feet. Only government or other official designated flags of an institution or business are allowed.
 - h. Signage in planned shopping centers shall be limited to one ground-mounted, monument style sign for each roadway frontage. Each tenant in the shopping center shall be allowed one wall sign per frontage with a maximum of two signs.
 - i. Illumination of signs shall be directed away from all traffic and from all adjoining residential areas. The intensity of the light shall not exceed 1.5 footcandles at any point on the sign face.
 - j. Billboards and portable signs shall be prohibited. Flashing signs and roof mounted signs shall be prohibited.
 - k. All signage shall be subject to the sign regulations outlined in the Zoning Ordinance/Resolution for Warren County or any amendments thereto. In instances where the two ordinances do not agree, the more restrictive of the two shall apply.
7. **Traffic Design.** All internal streets, drives, travelways, sidewalks/trails, parking and loading areas shall be designed for safe and efficient movement of vehicles and pedestrians. Projects to be developed within the Overlay District and contiguous to the Greenbelt shall be required to provide direct pedestrian access, separate from any vehicle entry, to the Greenbelt trail. Developments that are not contiguous to the Greenbelt trail shall provide either a sidewalk or trail that will allow for the movement of pedestrians to the Greenbelt trail, separate from the street system. All development shall allow for inter-parcel access of vehicles (two-way travelway) and pedestrians (via sidewalk or trail) to adjacent property. Inter-parcel access points shall be located behind the front building setback line.

URBAN GROWTH OVERLAY DISTRICT REVIEW (Continued)

Phase 3 has three (3) proposed access points to a future unnamed internal street that is not currently platted or under construction. The proposed street will have to be constructed and have at least the asphalt base layer constructed prior to the approval of any building permit.

Proposed Phase 3 provides seventy-four (74) parking spaces. Per the Zoning Ordinance, the proposed office and clubhouse would require sixty-six (66) spaces. Due to the proposed office, clubhouse, maintenance barn, pool house and mail house being accessory uses to the residential development, no additional parking spaces were required for this phase of the development. The applicants have provided 578 parking spaces for Phase 2, 75 more parking spaces than what is required. These extra 75 parking spaces, plus the 74 spaces in Phase 3 will help alleviate the 178 parking space deficiency (as required by the Zoning Ordinance) from Phase 1. The applicants submitted an alternative parking study that would allow a lesser parking requirement than what is required by the Zoning Ordinance for Phase 1 of this development.

Binding Element number 3 requires that the property be developed with a Greenway trail that may vary in width throughout the property, but will not be less than five (5) feet. The property will be developed with curb, gutter and five (5) foot sidewalks on both sides of the street (Binding Element number 6). The roadway plans have been reviewed for compliance with the approved Binding Elements, Zoning Ordinance and the Subdivision Regulations and have been approved by the City of Bowling Green Public Works Department and the City-County Planning Commission.

- 8. All electric, telephone, cable and similar service lines and other wiring shall be installed underground, and there shall be no new overhead wiring in any development.**

Underground utilities are a requirement of the Binding Elements (Binding Element number 2) and will be met by the applicant.

- 9. Exterior Treatment. Any proposed land use or development approved by the Design Review Board shall be designed and constructed of materials so as to be architecturally compatible with the architectural character of the general area.**

- a. All building exteriors shall be finished with one or more of the following materials.**

- (1) architectural masonry units, including brick, decorative concrete masonry units, and special surface units (plain-laid concrete or cinder block will not be allowed);**
- (2) natural stone;**
- (3) precast and poured-in-place concrete; EFIS or Dryvit (not to exceed 50% of the total exterior) with approval of surface treatment;**
- (4) glass, glass curtain, glass surface units;**
- (5) wood clapboard, trim;**
- (6) Architectural Metal Panel; (this material should utilize concealed fastener application and shall not exceed 75% of any building façade).**
- (7) The use of vinyl shall be limited to only fascia, soffit, and other minor trim uses within the district. The Design Review Board (DRB) may approve the use of alternative building materials if compatible with the adjoining properties.**

- b. Finished materials shall extend around all sides of the building, which shall include gas canopies.**

URBAN GROWTH OVERLAY DISTRICT REVIEW (Continued)

All buildings will be constructed with materials as required by Article IV, Section F (9) of the Zoning Ordinance except that no hardy board or vinyl siding shall be used (Binding Element number 1 – Highway Business). Binding element number 1 (Multi-Family Residential) does not prohibit the use of hardy board or vinyl siding.

The applicants have submitted the following information regarding materials to be used for this development:

<u>Location</u>	<u>Material</u>	<u>Color</u>
Foundation	Stone Veneer - Centurion Fiber Cement Lap Siding/Wood	Buck's County Lodge Nichiha
Siding Material	Stone Veneer - Centurion Fiber Cement Lap Siding/Wood Lap Siding/ Board & Batten Paint/Wood Steel and Aluminum Awnings	Buck's County Lodge Nichiha Repose Gray Matte Black
Siding Trim Paint Panel Siding Paint		Incredible White Black Fox
Windows		
Soffits/Rafter Tails/Architectural Brackets	Cedar	Cedar
Garage door		
Gutters/ Downspouts		
Roof	Standing Seam Metal Roof	Weathered Zinc

- c. All non-residential buildings located along KY 880 shall be designed in such a way as to appear to face the roadway, regardless of the location of the driveway access and parking. All building walls facing any other right-of-way shall have some form of articulated relief or change in direction, every 30 feet.
- d. **Roof-mounted utilities and mechanical equipment should be screened from view by roof design, parapet walls, fencing, or other screening method to a height equal to or greater than the height of the equipment.**

No roof-mounted utilities or mechanical equipment is planned for this phase. Any proposed mechanical equipment will be required to be screened and meet the requirements of the Zoning Ordinance.

10. Screening of Equipment and Outside Storage. Ground and roof level electrical transformers, heat and air conditioning equipment and similar facilities shall be screened from public view.

HVAC units and similar equipment for the proposed buildings in Phase 3 have been screened using either the building and/or landscaping to minimize visual impacts, so equipment is not visible from public right-of-way.

URBAN GROWTH OVERLAY DISTRICT REVIEW (Continued)

11. Redevelopment of Existing Site. It is recognized that certain nonresidential properties in the overlay district were developed prior to incorporation and/or adoption of technical and development standards for the district. When an existing nonresidential site is redeveloped as defined in Article 6, the site shall be brought into conformance with the technical and development standards of this district to the greatest extent feasible or possible as determined by the Design Review Board. All new signage shall conform to the requirements of item 4.9.2.E.6. (Signs).

STAFF ANALYSIS

The applicants have submitted an Overlay Development Plan (Phase 3 of the HUB development) to construct accessory buildings to the HUB multi-family residential development. The applicants are proposing to construct an office, club house, maintenance barn, pool house and mail house for the Hub multi-family development. The proposed overlay development plan meets the requirements of the Lovers Lane Urban Growth Overlay and the Zoning Ordinance, except for the items listed below under items of concern.

POINTS TO CONSIDER

- ❖ The proposed infrastructure must be designed, constructed or bonded and platted prior to the issuance of any building permit for the proposed structures;
- ❖ Applicants still need to provide materials to be utilized for the proposed garages, windows, gutters and downspouts;
- ❖ The applicants would prefer to use fiber cement lap siding instead of the wood clapboard siding that is shown on the building elevations. The current Binding Elements (HB – Highway Business portion) prohibit the use of “hardy board” or fiber cement siding.

SUGGESTED CONDITIONS

- ❖ The drainage plan must be approved by the City of Bowling Green Public Works Department, prior to obtaining a building permit;
- ❖ Plat must be submitted and recorded creating the right-of-way and creating the lot, prior to obtaining a building permit;
- ❖ The applicants must amend the general development plan, prior to installing the fiber cement lap siding instead of the wood clapboard siding shown for this phase of the development.

MOTIONS

MOTION TO APPROVE:

I make the motion to **approve** the Overlay Development Plan, within the Lovers Lane Urban Growth Overlay District, docket number **ODP-03-2018** with the following conditions:

- ❖ The drainage plan must be approved by the City of Bowling Green Public Works Department, prior to obtaining a building permit;
- ❖ Plat must be submitted and recorded creating the right-of-way and creating the lot, prior to obtaining a building permit;
- ❖ The applicants must amend the general development plan, prior to installing the fiber cement lap siding instead of the wood clapboard siding shown for this phase of the development.

My motion is based on the findings of fact as presented in the staff report, and the testimony presented in this public hearing, that the Overlay Development Plan is in agreement with the adopted development standards contained in the Zoning Ordinance Section 3.18 and Section 4.9.

Further, I request that the findings of fact and recommendation include a summary of the evidence and testimony presented by the proponents and/or opponents of the proposed plan.

OR

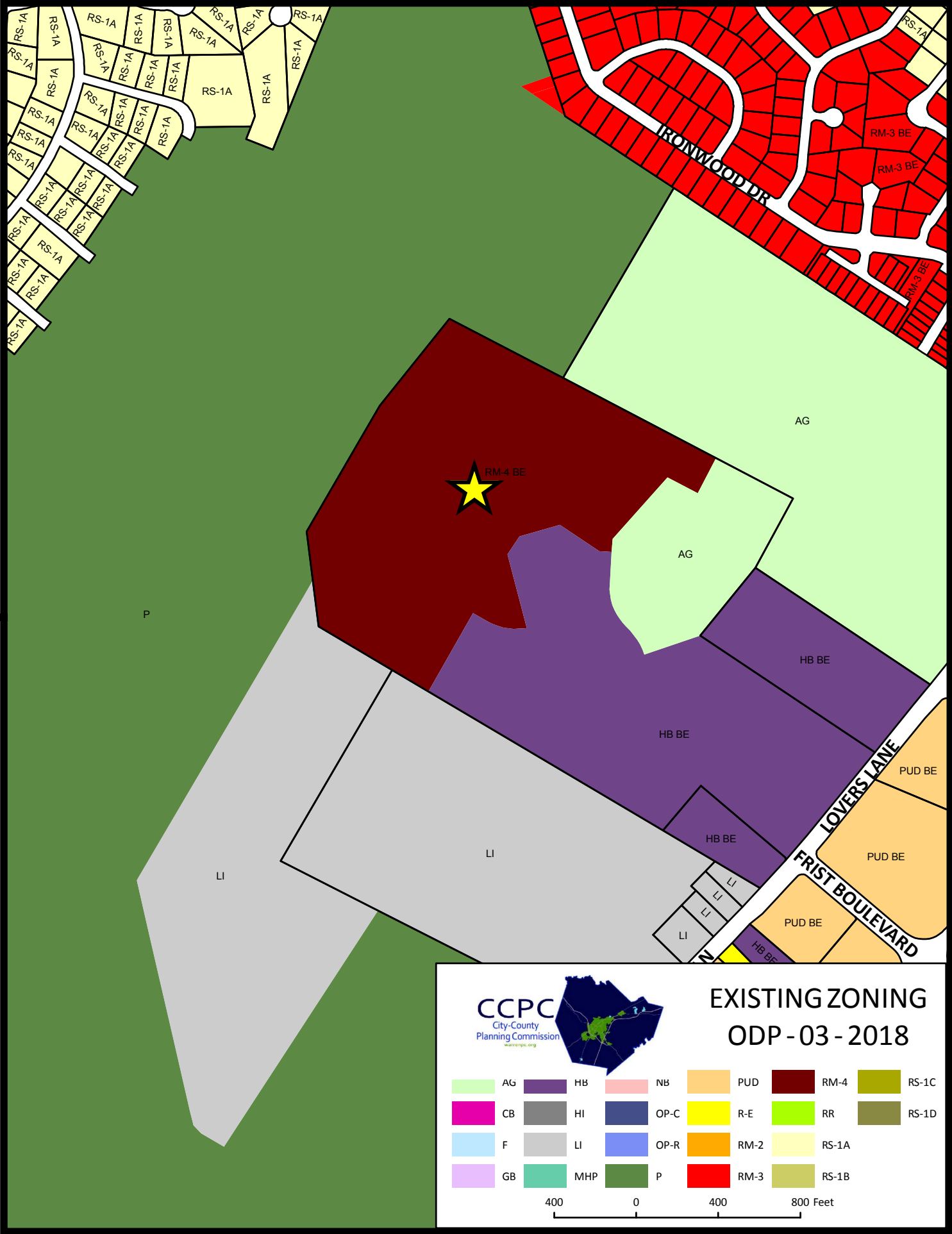
MOTION TO DENY:

I make the motion to **disapprove** the Overlay Development Plan, within the Lovers Lane Urban Growth Overlay District, docket number **ODP-03-2018**.

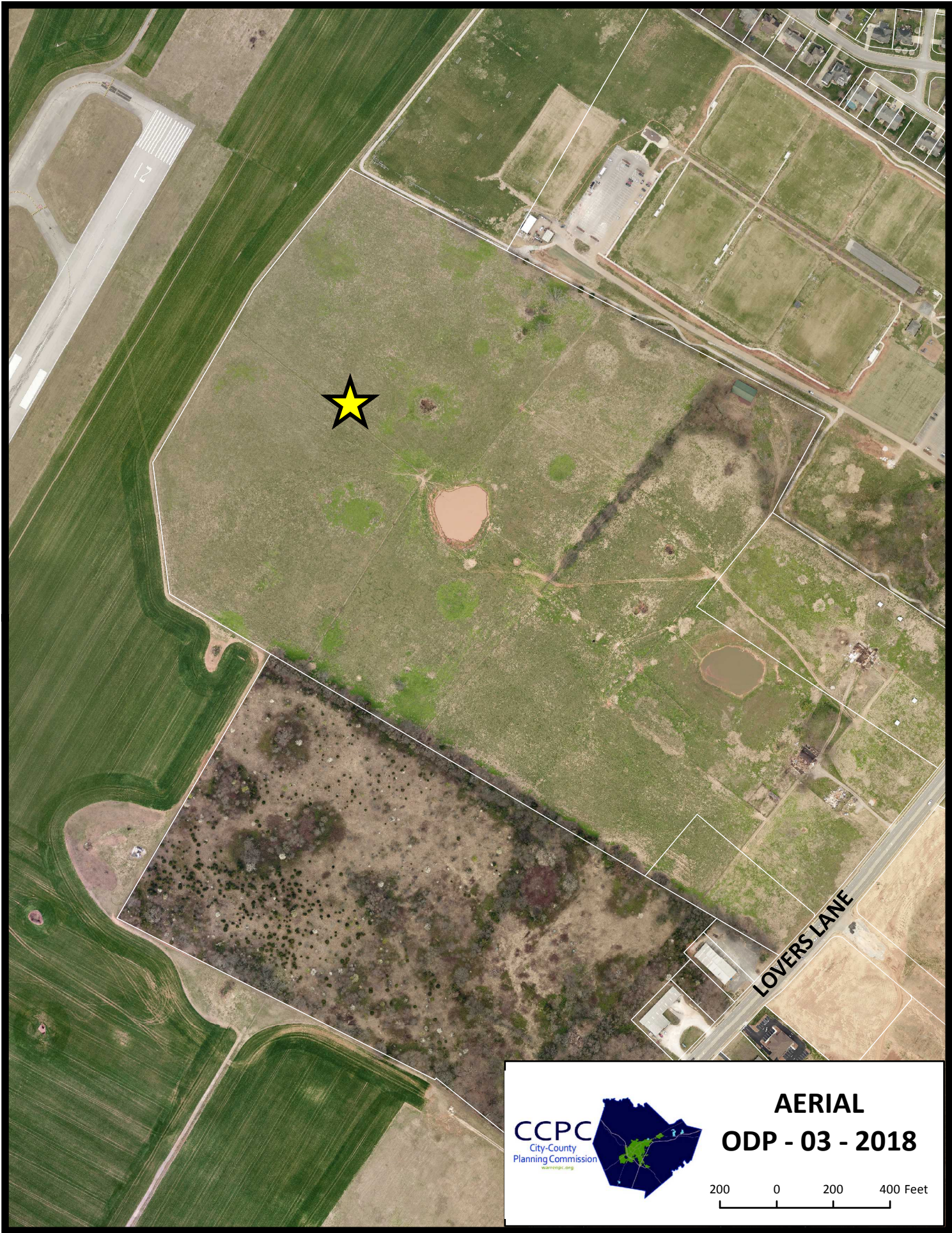
My motion is based on the findings of fact as presented in the staff report and the testimony as presented in this public hearing that the Overlay Development Plan is not in agreement with the adopted development standards in the Zoning Ordinance Section 3.18 and 4.9.

(State specific policies: scale, architecture, landscape, materials or potential glare)

Further, the following corrections to the Overlay Development Plan may be satisfactorily completed before approval will be given and no building permit will be issued at this time. Further, I request that the Overlay Development Plan not be considered by this body until an amended Overlay Development Plan has been submitted.







AERIAL
ODP - 03 - 2018

200 0 200 400 Feet

OVERLAY DEVELOPMENT PLAN FOR THE HUB CLUBHOUSE

LOVERS LANE
BOWLING GREEN, KY 42103
February 21, 2018
Rev. March 13, 2018



DRAWING INDEX

COVER SHEET

CIVIL	
C1	EXISTING TOPOGRAPHY
C2	SITE LAYOUT
C3	SITE GRADING AND DRAINAGE
C4.0	EROSION CONTROL - PRE-DEVELOPMENT
C4.1	EROSION CONTROL - POST-DEVELOPMENT
C5	SITE UTILITIES
C6	SITE DETAILS
L4.0-4.4	LANDSCAPE PLANS
SL1-3	SITE LIGHTING PLANS

ARCHITECTURAL PLANS

A1 - A12 ARCHITECTURAL PLANS

DEVELOPER:
B.L. BENNETT AND ASSOCIATES, INC.
6596 HIGHWAY 100
NASHVILLE, TN 37205
CONTACT: BRENT EASLEY
TELEPHONE: 270-392-5349

PARCEL OWNER:
CHANDLER RESIDENTIAL, LLC.
2600 CHANDLER DRIVE
BOWLING GREEN, KY 42104
TELEPHONE: 1-270-901-0300
DEED BOOK 1130 PAGE 375
PLAT BOOK 42 PAGE 60 & 61
PLAT BOOK 42 PAGE 102 & 103

**SURVEYOR AND
CIVIL ENGINEER:**
ARNOLD CONSULTING
ENGINEERING SERVICES, INC.
PO BOX 1338
BOWLING GREEN, KY 42101
CONTACT: AARON ARNOLD
TELEPHONE: 270-780-9445

**LANDSCAPE
ARCHITECT:**
KISER VOGRIN DESIGN
5005 MERIDIAN BOULEVARD, SUITE 100
FRANKLIN, TN 37067
CONTACT: CHRISTOPHER WOOD
TELEPHONE: 615-719-1943

ARCHITECT:
MHK ARCHITECTURE & PLANNING
NAPLES, FL
CONTACT: MATTHEW KRAGH
TELEPHONE: 239-919-0786
www.MHKap.com

UTILITY COMPANIES/ GOVERNMENT OFFICIALS

PLANNING COMMISSION:
CITY-COUNTY PLANNING COMMISSION
1141 STATE STREET
BOWLING GREEN, KY 42101
CONTACT: MR. STEVE MCWHORTER
TELEPHONE: (270)842-1953

WATER & SEWER:
BOWLING GREEN MUNICIPAL UTILITIES
801 CENTER STREET
BOWLING GREEN, KY 42102
CONTACT: RODNEY SULLIVAN
TELEPHONE: (270) 782-1200

ELECTRICITY:
WARREN RECC
951 FAIRVIEW AVENUE
BOWLING GREEN, KY 42101
CONTACT: JONATHAN LINDSEY
TELEPHONE: (270) 842-5214

TELEPHONE:
AT&T
1061 LOVERS LANE
BOWLING GREEN, KY 42103
CONTACT: BUZZ COLBURN
TELEPHONE: (270)782-4811

BUILDING INSPECTIONS:
CITY OF BOWLING GREEN
BUILDING & INSPECTION DIVISION
707 E. MAIN AVE.
BOWLING GREEN, KY 42101
CONTACT: JEREMY SEGUR
TELEPHONE: (270) 393-3615

CITY ENGINEER:
BOWLING GREEN CITY PUBLIC WORKS
1011 COLLEGE STREET
BOWLING GREEN, KY 42101
CONTACT: MELISSA CANSLER, P.E.
TELEPHONE: (270)393-3657

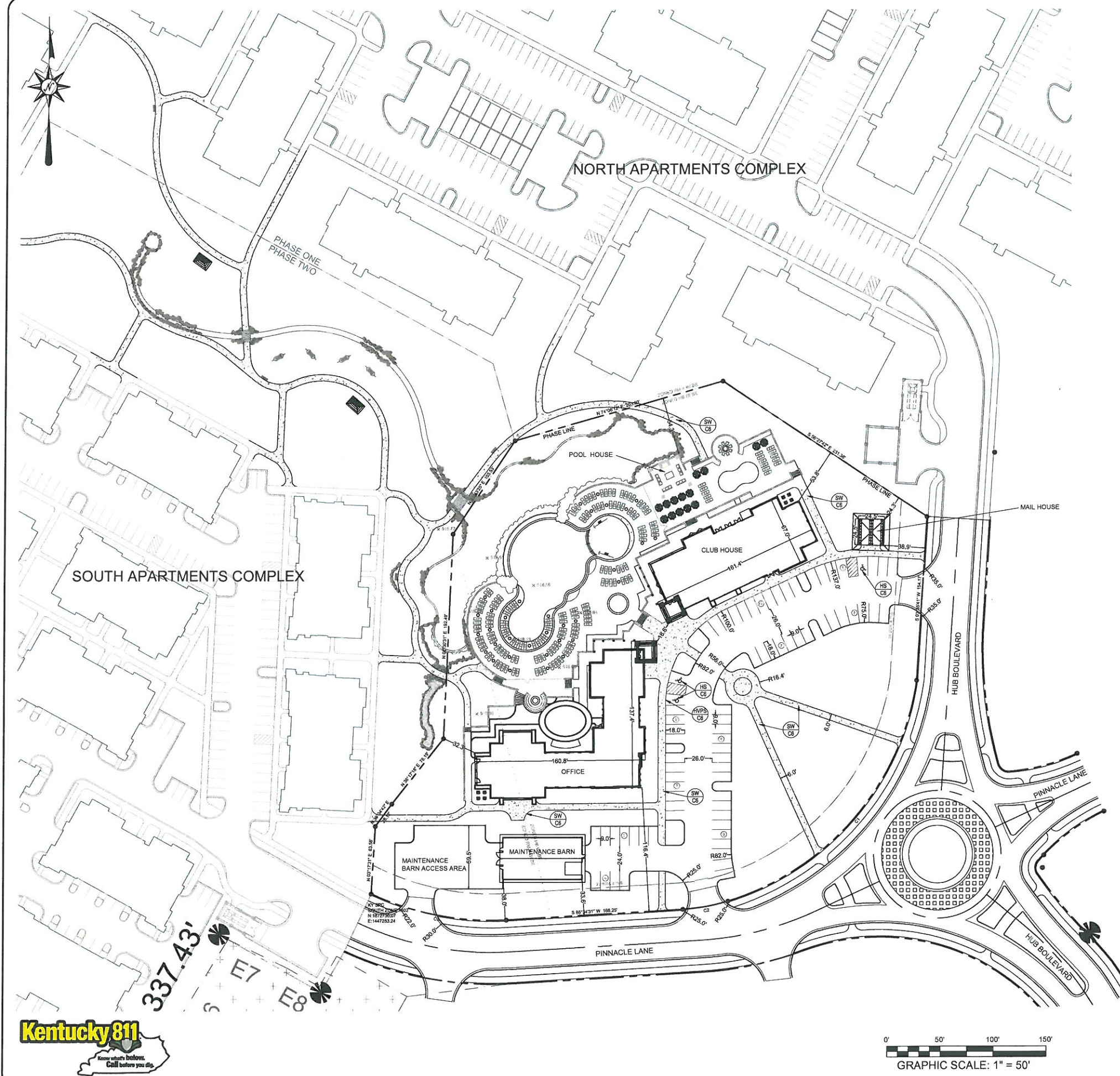
GAS:
ATMOS ENERGY
2850 RUSSELLVILLE ROAD
BOWLING GREEN, KY 42101
CONTACT: BYRON OOST
TELEPHONE: (270)901-1710

CABLE:
SPECTRUM
515 DOUBLE SPRINGS RD.
BOWLING GREEN, KY 42101
CONTACT: TRAVIS HAYES
TELEPHONE: (270)892-4367



**ARNOLD CONSULTING
ENGINEERING SERVICES**
P.O. BOX 1338 BOWLING GREEN KY, 42101
PHONE (270) 780-9445





PHASE II DEVELOPMENT SUMMARY		
STATISTIC	PERMITTED / REQUIREMENT	PROVIDED
ZONING	N/A	RM-4 / HB
PROPOSED USE	OFFICE/CLUBHOUSE/MAINT. FAC.	CLUBHOUSE
OVERALL SITE AREA	N/A	+/- 41.09 AC. +/- 1,789,981 S.F.
PHASE THREE	N/A	4.40 +/- AC. 104,341 +/- S.F.
LOT COVERAGE	MAX 75%	63.4% COVERAGE
F.A.R.	N/A	.1375
BUILDING COVERAGE	26,731 S.F. (13.75%)	26,731 S.F. (13.75%)
BUILDING SETBACKS	FRONT	25'
	SIDE	20'
	REAR	10'
	REAR (NW)	54.3'
TOTAL PARKING	OFFICE: 12,578 / 300 SF =	74 SPACES PROVIDED
	42 SPACES	
	CLUBHOUSE: 9,593 / 400 SF =	71 STANDARD SPACES
	24 SPACES	3 ADA SPACES
LANDSCAPE PLAN	REQUIRED	SEE SHEET L1-L4
DRAINAGE PLAN	REQUIRED	SEE SHEET C3
TRAFFIC STUDY	N/A	N/A
LOCATION DISTANCE	1,640 L.F. TO THE INTERSECTION OF HUB BLVD. & LOVERS LANE	
SITE ACCESS	PER CITY OF BOWLING GREEN DEPARTMENT OF PUBLIC WORKS	2 ACCESS POINTS ON NEW INTERNAL STREET

BUILDING SUMMARY		
TOTAL BUILDINGS TO BE CONSTRUCTED	SQUARE FOOTAGE	BUILDING HEIGHT
CLUB HOUSE	9,593 SF	38'-0"
OFFICE	12,578 SF	ONE STORY
MAINTENANCE BARN	3,000 SF	38'-0"
POOL HOUSE	960 SF	TWO STORIES
MAIL HOUSE	600 SF	24'-10"
		18'-0"
		ONE STORY
		15'-7"
		ONE STORY
TOTAL BUILDING SF:	26,731 SF TOTAL BUILDING SF.	

GENERAL NOTES

- PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL PERMITTING AUTHORITIES.
- NO GRADING, STRIPPING, EXCAVATION, FILLING OR OTHER DISTURBANCE OF THE NATURAL GROUND COVER SHALL TAKE PLACE UNTIL PROPOSED SOIL EROSION CONTROL PLAN HAS BEEN APPROVED AND IN PLACE.
- ALL DIMENSIONS INVOLVING CURB RADII ARE SHOWN TO FACE OF CURB, UNLESS NOTED OTHERWISE. ALL CURB RADII ARE 5' UNLESS NOTED OTHERWISE.
- IN THE CASE OF CONFLICT BETWEEN THIS DRAWING AND ANY OTHER DRAWING AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED FOR CLARIFICATION.
- THE CONTRACTOR SHALL BID AND PERFORM THE WORK IN ACCORDANCE WITH ALL LOCAL, STATE AND NATIONAL CODES AND THE REQUIREMENTS OF LOCAL UTILITY COMPANIES.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL BARRIAGES, WARNING SIGNS, FLASHING LIGHTS AND THE TRAFFIC CONTROL DEVICES DURING CONSTRUCTION. CONTRACTOR SHALL COMPLY WITH OSHA REGULATIONS AND SAFETY REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF ALL VEHICLE TRAFFIC IN AND AROUND THE CONSTRUCTION AREA.
- ALL UNPAVED AREAS TO RECEIVE A MINIMUM OF 4" TOPSOIL, SEED (AS OUTLINED IN THE LANDSCAPE PLANS), MULCHED AND WATERED AS NECESSARY TO PROVIDE SUBSTANTIAL GRASS COVER.
- ALL PAVEMENT MARKINGS INCLUDING STRIPES, DIRECTIONAL ARROWS, ETC., SHALL BE WHITE PAINT (TWO COATS). HANDICAP SYMBOL COLORS SHALL BE PER LOCAL CODE. APPROVED EXTERIOR PAINTS ARE AS FOLLOWS:
PRATT AND LAMBERT TRAFFIC PAINT
SHERWIN-WILLIAMS PRO-MAR TRAFFIC MARKING
PAINT 829 SERIES
GLIDDEN ROMARK TRAFFIC PAINT
PPG ZONE AND TRAFFIC MARKING PAINT
- ALL TRAVELS WAYS ARE TO BE A MINIMUM OF 24'.

*NOTES: THE SITE SHALL COMPLY WITH ALL ACCESSIBILITY STANDARDS.

CONSTRUCTION LEGEND

- | | |
|----------------------------------|-----------------------------|
| - LIGHT DUTY BITUMINOUS PAVEMENT | - CONCRETE PAVEMENT |
| - HEAVY DUTY BITUMINOUS PAVEMENT | - HANDICAP STALL |
| - SIDEWALK | - HANDICAP VAN PARKING SIGN |

NOTE:
ALL SIDEWALKS ADJOINING ASPHALT/CONCRETE PAVEMENT SHALL BE INSTALLED WITH A TURNDOWN EDGE

THE HUB
CLUBHOUSE
LOVERS LANE
BOWLING GREEN, KY 42103

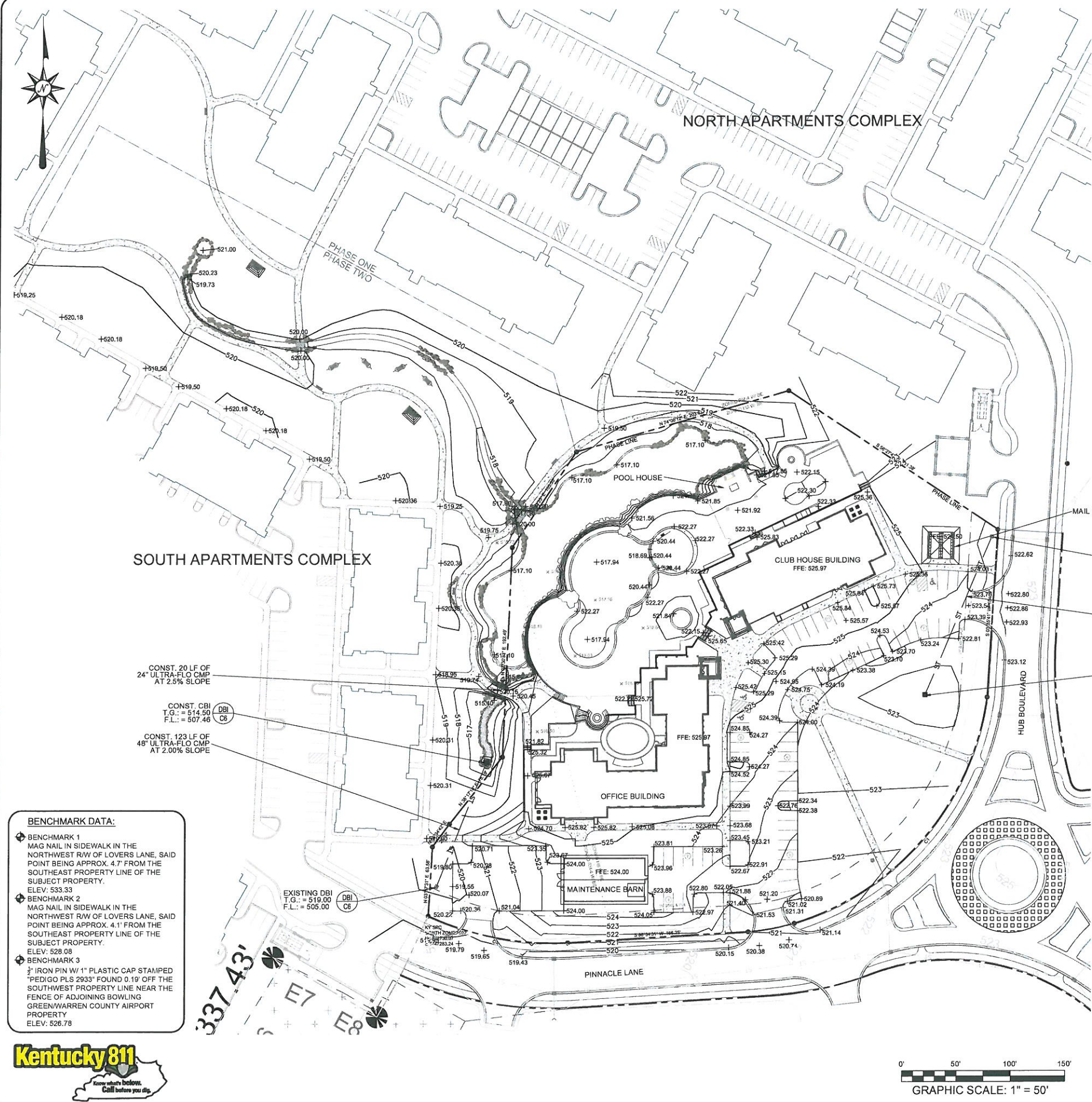
ACFS
ARNOLD CONSULTING
ENGINEERING SERVICES, INC.
P.O. BOX 1938
BOWLING GREEN, KY 42101
PHONE (270) 780-9445

JOB NUMBER: 17-3278-L
DATE: 03-13-2018
SCALE: 1" = 50'
DRAWN: B. SHIRLEY
CHECKED: A. ARNOLD
FILE PATH:
Z:\SITE\DEVIC2-PROPOSED LAYOUT



C2
SITE
LAYOUT





GRADING AND DRAINAGE NOTES:

1. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT-OF-WAY PRIOR TO EXCAVATION. CONTRACTOR SHALL NOTIFY 811 48 HOURS PRIOR TO EXCAVATION.
2. SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
3. NO CUT OR FILL SLOPES SHALL BE CONSTRUCTED STEEPER THAN 2H:1V UNLESS SPECIFICALLY NOTED ON PLANS.
4. SITE GRADES AROUND THE BUILDING AND PAVEMENT AREAS SHALL BE GRADED DURING CONSTRUCTION TO PREVENT PONDING. ANY SURFACE WATER ACCUMULATION IN THE BUILDING AND PAVEMENT AREAS SHALL BE DRAINED IMMEDIATELY TO AVOID SATURATION OF THE SUBGRADE SOILS.
5. FILL, INCLUDING FINAL TOPSOIL SHALL BE PLACED A MINIMUM OF 3 INCHES BELOW FFE AT BUILDING SLABS UNLESS OTHERWISE INDICATED BY ARCHITECTURAL WALL SECTION DETAILS.
6. GRADE ALL AREAS TO MAINTAIN POSITIVE SLOPE AWAY FROM THE BUILDING.
7. ALL EXCAVATIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST OSHA GUIDELINES AS MANDATED IN CURRENT FEDERAL, STATE AND LOCAL REGULATIONS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE IN PROVIDING SAFE WORKING CONDITIONS IN CONNECTION WITH ANY EXCAVATION WORK.
8. ENGINEERED FILL SHALL BE COMPACTED TO 98% OF STANDARD PROCTOR DENSITY IN BUILDING PAD AREAS (PROPOSED AND FUTURE EXPANSION) AND TO 95% IN PARKING AND DRIVE AREAS. VEGETATED AREAS SHOULD BE COMPACTED TO A MINIMUM OF 92% OF STANDARD PROCTOR DENSITY.
9. STONE BASES SHOULD BE COMPACTED TO A DENSITY SATISFACTORY TO ENGINEER, TYPICALLY 84% OF SOLID VOLUME OR BY TEST STRIP METHODS.
10. ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN, FENCING, TREES, ETC. WITHIN THE CONSTRUCTION AREA SHALL BE REMOVED AND DISPOSED OF OFF SITE.
11. GRADE LINES SHOWN ARE FINISHED GRADE. CONTRACTOR SHOULD SEE DETAIL SHEET FOR APPROPRIATE PAVEMENT TYPE TO DETERMINE SUB-GRADE ELEVATIONS FOR PAVING AREAS.
12. CONTRACTOR IS ADVISED THAT FINAL GRADING AND CURB PLACEMENT SHALL BE COMPLETED TO ACCOMMODATE THE FOLLOWING:
 - A) NO WATER WILL POND AT POINTS WHERE LANDSCAPE ISLANDS EXTEND INTO PARKING FIELDS.
 - B) SPACES DESIGNATED FOR HANDICAP PARKING AND ACCESS AISLE SHALL HAVE A FINAL SLOPE AFTER PAVING IS COMPLETED OF NOT MORE THAN 2.0%. IF EITHER OF THESE ITEMS ARE NOT CONSTRUCTED AS OUTLINED ABOVE, REWORK WILL BE PROVIDED BY THE CONTRACTOR TO CORRECT DEFICIENCIES AT THE CONTRACTORS EXPENSE.
13. TOPSOIL SHALL BE STRIPPED FROM ALL CUT AND FILL AREAS, STOCKPILED AND REDISTRIBUTED OVER GRADED AREAS. PROVIDE EROSION AND SEDIMENT CONTROL MEASURES AROUND STOCKPILES DURING CONSTRUCTION.
14. ALL SPOT ELEVATIONS SHOWN ARE FINISHED GRADE. SPOT ELEVATIONS SHOWN ALONG GUTTER LINE ARE FLOW ELEVATIONS FOR FACE OF CURB.

STORM WATER RUNOFF CALCULATIONS

PRE-DEVELOPED
TOTAL AREA (At) = 7.14 ACRES
AREA OF IMPERVIOUS (Ai) = 0.00 ACRES
AREA OF PERVIOUS (Ap) = 7.14 ACRES
Ci = 0.95 Cp = 0.25
WT. "C" = $\frac{(Ai \cdot Ci) + (Ap \cdot Cp)}{At} = \frac{(0.00 \cdot 0.95) + (7.14 \cdot 0.25)}{7.14} = 0.25$

POST-DEVELOPED
TOTAL AREA (At) = 7.14 ACRES
AREA OF IMPERVIOUS (Ai) = 2.98 ACRES
AREA OF PERVIOUS (Ap) = 4.16 ACRES
Ci = 0.95 Cp = 0.25
WT. "C" = $\frac{(Ai \cdot Ci) + (Ap \cdot Cp)}{At} = \frac{(2.98 \cdot 0.95) + (4.16 \cdot 0.25)}{7.14} = 0.54$

DETENTION NOT REQUIRED
THIS PARCEL IS PART OF A REGIONAL DRAINAGE AREA AS DESIGNED AND APPROVED IN DRAINAGE REPORT BY ARNOLD ENGINEERING CONSULTING ENGINEERING SERVICES DATED DECEMBER 8, 2017. THE PROPOSED WEIGHTED "C" FACTOR USED FOR THIS LOT WAS 0.78. THIS DEVELOPMENT IS PROPOSED TO HAVE A WEIGHTED "C" FACTOR OF 0.54.

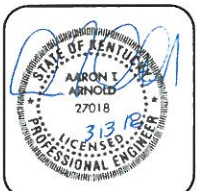
CONSTRUCTION LEGEND

- CURB BOX INLET
- DROP BOX INLET

THE HUB
CLUBHOUSE
LOVERS LANE
BOWLING GREEN, KY 42103

ACES
ARNOLD CONSULTING
ENGINEERING SERVICES, INC.
P.O. BOX 4338
BOWLING GREEN, KY 42101
PHONE (270) 780-9445

JOB NUMBER: 17-3278-L
DATE: 03-13-2018
SCALE: 1" = 50'
DRAWN: C. WICKER
CHECKED: A.ARNOLD
FILE PATH:
Z:\SITE\DEVCS-GRADING



C3
SITE
GRADING





KV+D
KISER VOGRIN DESIGN
5005 Meridian Blvd., Ste 100 Franklin, TN 37067
615.719.1943



THE HUB AMENITY AND STREETSCAPE SUBMITTAL
BOWLING GREEN, WARREN COUNTY, KY
OVERALL LANDSCAPE PLAN

REVISIONS:
03-13-18 REVISIONS PER DRB SUBMITTAL

DATE: 02-21-18
DESIGNED BY: AMH
CHECKED BY: ACW
G.C. BY: CBW
SCALE: 1"=100'
PROJECT #: 17034
SHEET NUMBER:
L4.0

4.0 THE HUB OVERALL ENTITLEMENT PLANT SCHEDULE					
ABBR.	QTY	BOTANICAL NAME	COMMON NAME	CAL/HT/SPR/CONT	NOTES
TREES					
AFA	9	<i>Acer freemanii</i> "Autumn Blaze"	Autumn Blaze Maple	1-3/4" Cal./10' Ht./5' Spr	Full, Specimen, Limb Ht. to be 5' Min.
ARM	15	<i>Acer rubrum</i> "October Glory"	October Glory Maple	1-3/4" Cal./10' Ht./5' Spr	Full, Specimen, Limb Ht. to be 5' Min.
AGA	38	<i>Amelanchier x grandiflora</i> "Autumn Brilliance"	"Autumn Brilliance" Serviceberry	6' Min. Ht.	Full, Specimen
CEC	2	<i>Cercis canadensis</i>	Eastern Redbud	6' Min. Ht.	Full, Specimen
IXO	8	<i>Ilex opaca</i>	American Holly	5' Min. Ht.	FTG, Specimen
ILP	17	<i>Ilex x 'Patriot'</i>	Red Patriot Holly	5' Min. Ht.	FTG, Specimen
LSR	6	<i>Liquidambar styraciflua</i> "Rotundiloba"	Round-lobed Sweet Gum	1-3/4" Cal./10' Ht./5' Spr	Full, Specimen, MT, Limb Ht. to be 5' Min.
MPR	10	<i>Malus x 'Prairifire'</i>	Prairifire Crab Apple	6' Min. Ht.	Full, Specimen
NSW	7	<i>Nyssa sylvatica</i> "Wildfire"	Wildfire Black Gum	1-3/4" Cal./10' Ht./5' Spr	Full, Specimen, Limb Ht. to be 5' Min.
PIC	4	<i>Picea abies</i>	Norway Spruce	5' Min. Ht.	FTG, Specimen
PST	6	<i>Pinus strobus</i>	White Pine	5' Min. Ht.	FTG, Specimen
PSN	21	<i>Prunus serrulata</i> "Snowgoose"	Snowgoose Cherry	6' Min. Ht.	Full, Specimen
PRO	23	<i>Prunus x okame</i>	Okame Cherry	6' Min. Ht.	Full, Specimen
GUP	61	<i>Quercus phellos</i>	Willow Oak	1-3/4" Cal./10' Ht./5' Spr	Full, Specimen, Limb Ht. to be 5' Min.
TOG	24	<i>Thuja occidentalis</i> "Green Giant"	Green Giant Arborvitae	5' Min. Ht.	FTG, Specimen
UAV	29	<i>Ulmus americana</i> "Valley Forge"	Valley Forge Elm	1-3/4" Cal./10' Ht./5' Spr	Full, Specimen, Limb Ht. to be 5' Min.
SHRUBS					
BGC	25	<i>Buxus x 'Glencoe'</i>	Chicagoland Green Boxwood	18" Min. Ht.	Full, 30" O.C.
BGM	11	<i>Buxus x 'Green Mountain'</i>	Green Mountain Boxwood	30" Min. Ht.	Full, See Plan for Locations
BWG	43	<i>Buxus x 'Wintergreen'</i>	Wintergreen Korean Boxwood	24" Min. Ht.	Full, 42" O.C.
ICD	212	<i>Ilex cornuta</i> "Dwarf Burford"	Dwarf Burford Holly	24" Min. Ht.	Full, 42" O.C.
TMD	77	<i>Taxus x media</i> "Densiformis"	Dense Yew	24" Min. Ht.	Full, 42" O.C.

Key Legend:
Cal/Ht/Sp/Cont: This column provides suggested plant size when installing; Cal=Caliper (diameter of the tree trunk); Ht= Height of foliage;
Spr= Spread (diameter of plant foliage); Cont= Container in Gallon size
Full: Plants shall have dense growth in height and width; ST: Single Trunk; MT: Multi-Trunk (3 Stems)
2nd Yr. Growth: A plant that has been growing for 2 years before install
FTG (Full to Ground): Plant has foliage from top to bottom
Specimen: Refers to Tree/Shrubs that shall be top grade for each species and type. Plants shall exhibit exceptionally heavy, symmetrical, appearance as be unquestionably and outstandingly superior in form, compactness and shape
Spacing: Refers to how far apart to plant plantings (from center to center of plants) when in massings. Otherwise, if plant stands alone, use scale on drawing to measure how far away to plant in relation to other plants

SEE SHEET L4.4B
FOR ENLARGEMENT

SEE SHEET L4.1
FOR ENLARGEMENT

SEE SHEET L4.2
FOR ENLARGEMENT

SEE SHEET L4.3
FOR ENLARGEMENT

SEE SHEET L4.4A
FOR ENLARGEMENT

LANDSCAPE REQUIREMENTS

THE HUB OF BOWLING GREEN

VEHICULAR USE AREA (VUA)

VUA SHOWN: 33,540 SF

SCREENING OF VUA

REQUIRED: 70% OF LINEAR FRONTAGE NEEDS TO BE SCREENED

REQUIRED: 667 LINEAR FT X 70%= 467 LINEAR FT OF SHRUBS (INCLUDES CH, OF, MB)

PROPOSED: 534 LINEAR FT OF SHRUBS

REQUIRED TREES: 2 SHADE TREES PER 100 LINEAR FT (MAY SUBSTITUTE 1 SHADE TREE FOR 2 ORNAMENTAL TREES)

REQUIRED: 667 LINEAR FT/100= 6.67 X 2= 12 SHADE TREES (INCLUDES CH, OF, MB)

PROPOSED: 7 SHADE TREES

PROPOSED: 10 ORNAMENTAL TREES

INTERIOR VUA LANDSCAPING

VUA SHOWN: 33,540 SF

REQUIRED: 5% OF VUA (REQUIRED PLANTING IN ISLANDS AND PENINSULAS)

REQUIRED: 33,540 SF of VUA x 5% = 1,677 SF

PROPOSED: 3,790 SF OR 3,790/33,540 = 11.2%

REQUIRED TREES (2 SHADE TREES FOR EVERY 250 SQ. FT.)

REQUIRED: 7 TREES

PROPOSED: 16 TREES

KEY:

CH: CLUBHOUSE

OF: OFFICE

MB: MAINTENANCE BARN

LEGEND

SYM

DESCRIPTION



SIGHT TRIANGLE



PEDESTRIAN LIGHTING



VEHICULAR LIGHTING



BOLLARD LIGHTING

0 100 200 300

SCALE: 1"= 100'





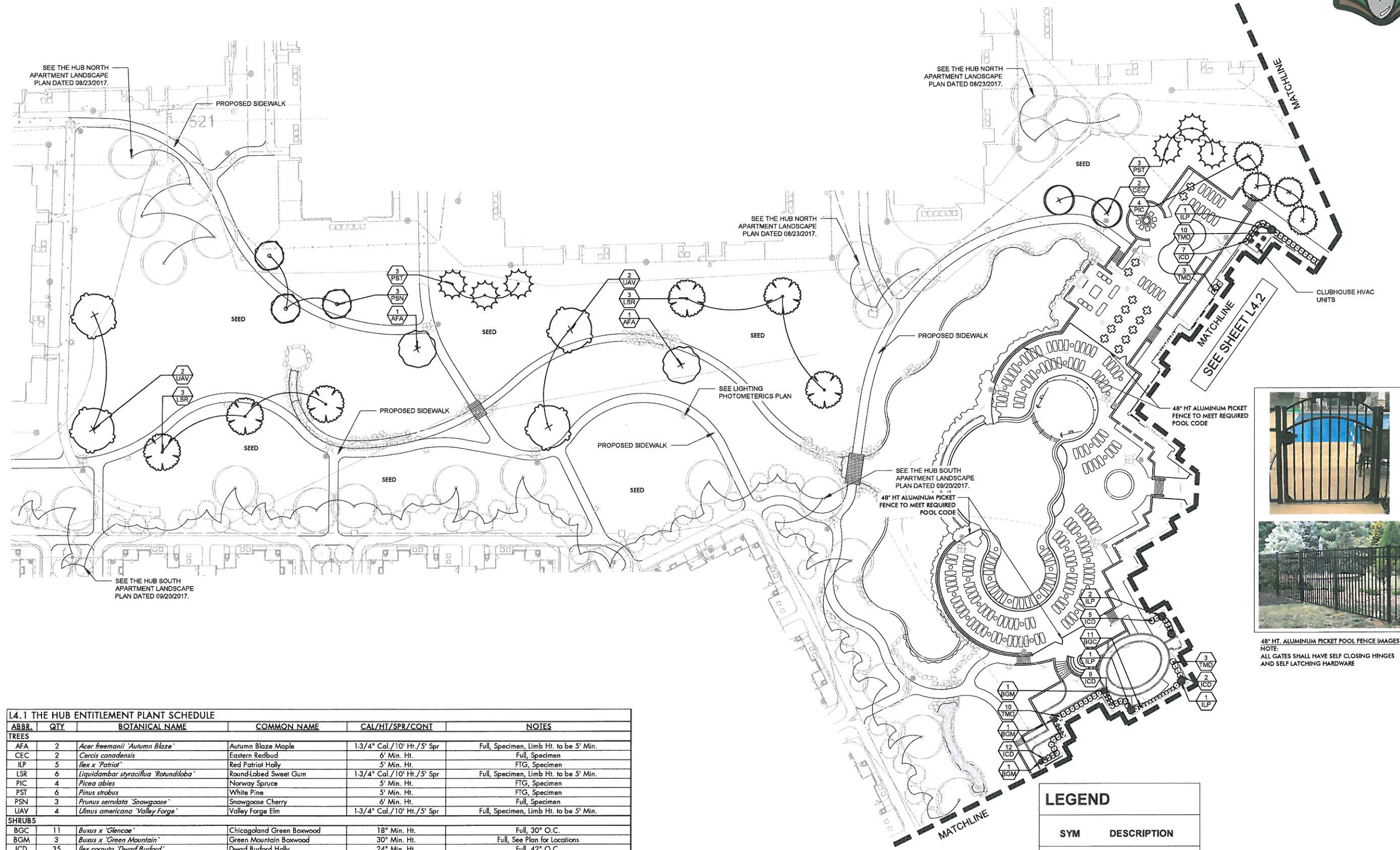
KV+D
KISER VOGGIN DESIGN
5005 Meridian Blvd., Ste. 100 Franklin, TN 37067
615.715.1144



THE HUB AMENITY AND STREETSCAPE SUBMITTAL
BOWLING GREEN, WARREN COUNTY, KY
ENLARGED LANDSCAPE PLAN

REVISIONS:
03-13-18 REVISIONS PER DBS SUBMITTAL

DATE: 02-21-18
DRAWN BY: JAMH
CHECKED BY: CBW
Q.C. BY: CBW
SCALE: 1"=30'
PROJECT #: 17036
SHEET NUMBER:
L4.1

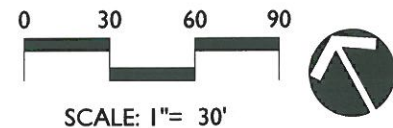


L4.1 THE HUB ENTITLEMENT PLANT SCHEDULE					
ABBR.	QTY	BOTANICAL NAME	COMMON NAME	CAL/HT/SPR/CONT	NOTES
TREES					
AFA	2	<i>Acer freemanii</i> 'Autumn Blaze'	Autumn Blaze Maple	1-3/4" Cal./10' Ht./5' Spr	Full, Specimen, Limb Ht. to be 5' Min.
CEC	2	<i>Cercis canadensis</i>	Eastern Redbud	6' Min. Ht.	Full, Specimen
ILP	5	<i>Ilex x 'Patriot'</i>	Red Patriot Holly	5' Min. Ht.	FTG, Specimen
LSR	6	<i>Liquidambar styraciflua</i> 'Rotundiloba'	Round-Lobed Sweet Gum	1-3/4" Cal./10' Ht./5' Spr	Full, Specimen, Limb Ht. to be 5' Min.
PIC	4	<i>Picea abies</i>	Norway Spruce	5' Min. Ht.	FTG, Specimen
PST	6	<i>Pinus strobus</i>	White Pine	5' Min. Ht.	FTG, Specimen
PSN	3	<i>Prunus serrulata</i> 'Snowgoose'	Snowgoose Cherry	6' Min. Ht.	Full, Specimen
UAV	4	<i>Ulmus americana</i> 'Valley Forge'	Valley Forge Elm	1-3/4" Cal./10' Ht./5' Spr	Full, Specimen, Limb Ht. to be 5' Min.
SHRUBS					
BGC	11	<i>Buxus x 'Glencoe'</i>	Chicagoland Green Boxwood	18" Min. Ht.	Full, 30" O.C.
BGM	3	<i>Buxus x 'Green Mountain'</i>	Green Mountain Boxwood	30" Min. Ht.	Full, See Plan for Locations
ICD	35	<i>Ilex cornuta</i> 'Dwarf Burford'	Dwarf Burford Holly	24" Min. Ht.	Full, 42" O.C.
TMD	26	<i>Taxus x media</i> 'Densiformis'	Dense Yew	24" Min. Ht.	Full, 42" O.C.

Key Legend:
Cal/Ht/Spr/Cont: This column provides suggested plant size when installing; Cal=Caliper (diameter of the tree trunk); Ht= Height of foliage;
Spr= Spread (diameter of plant foliage; Cont= Container in Gallon size
Full: Plants shall have dense growth in height and width; ST: Single Trunk; MT: Multi-Trunk (3 Stems)
2nd Yr. Growth: A plant that has been growing for 2 years before install
FTG (Full to Ground): Plant has foliage from top to bottom
Specimen: Refers to Tree/Shrubs that shall be top grade for each species and type. Plants shall exhibit exceptionally heavy, symmetrical, appearance as be unquestionably and outstandingly superior in form, compactness and shape
Spacing: Refers to how far apart to plant plantings (from center to center of plants) when in massings. Otherwise, if plant stands alone, use scale on drawing to measure how far away to plant in relation to other plants

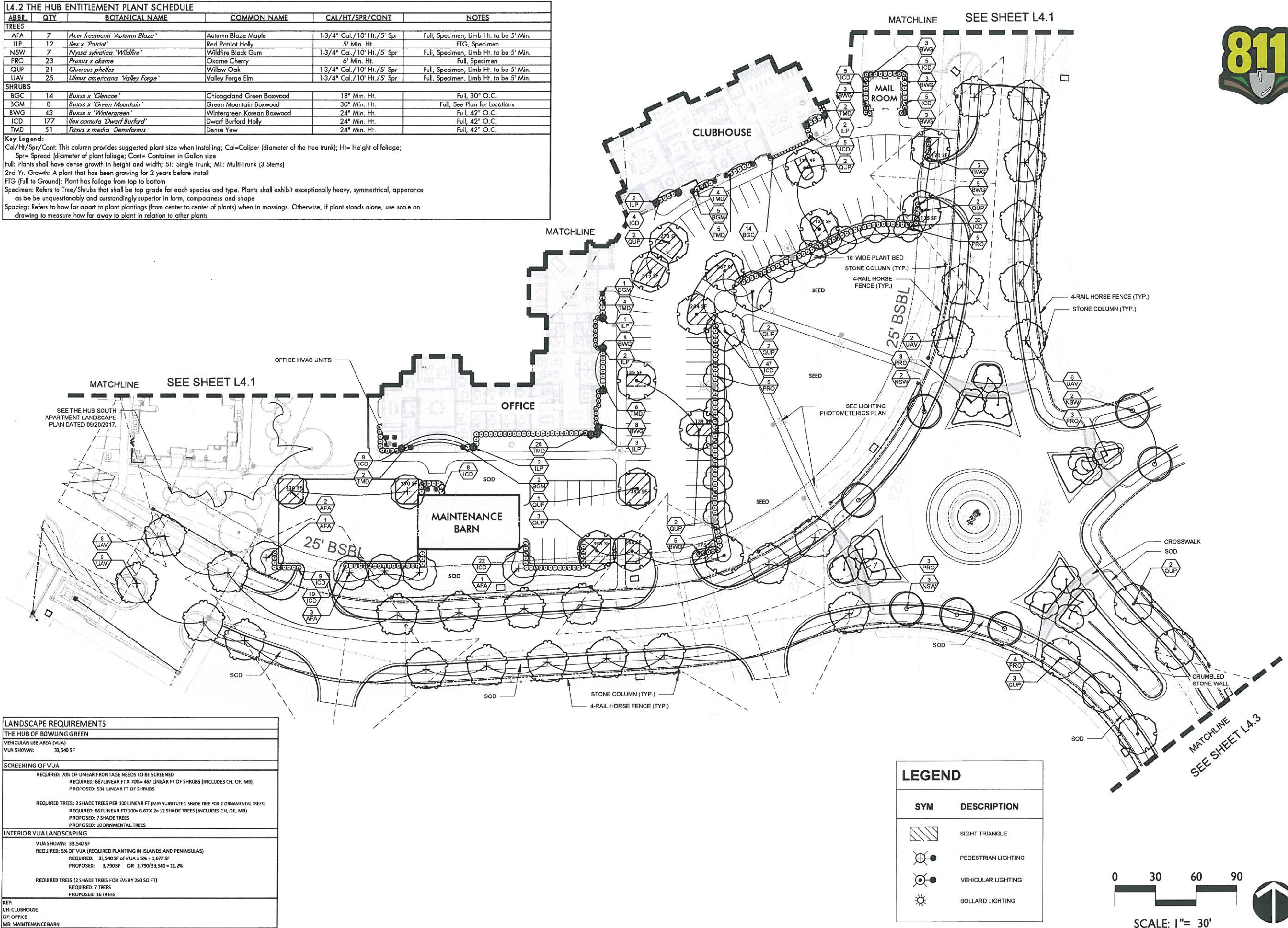
LEGEND

SYM	DESCRIPTION
	SIGHT TRIANGLE
	PEDESTRIAN LIGHTING
	VEHICULAR LIGHTING
	BOLLARD LIGHTING



L4.2 THE HUB ENTITLEMENT PLANT SCHEDULE					
ABBR.	QTY	BOTANICAL NAME	COMMON NAME	CAL/HT/SPR/CONT	NOTES
TREES					
AFA	7	<i>Acer freemanii</i> 'Autumn Blaze'	Autumn Blaze Maple	1-3/4" Cal./10' Ht./5' Spr	Full, Specimen, Limb Ht. to be 5' Min.
ILP	12	<i>Ilex x 'Patriot'</i>	Red Patriot Holly	5' Min. Ht.	FTG, Specimen
NSW	7	<i>Nyssa sylvatica</i> 'Wildfire'	Wildfire Black Gum	1-3/4" Cal./10' Ht./5' Spr	Full, Specimen, Limb Ht. to be 5' Min.
PRO	23	<i>Prunus x okame</i>	Okame Cherry	6' Min. Ht.	Full, Specimen
QUP	21	<i>Quercus phellos</i>	Willow Oak	1-3/4" Cal./10' Ht./5' Spr	Full, Specimen, Limb Ht. to be 5' Min.
UAV	25	<i>Ulmus americana</i> 'Valley Forge'	Valley Forge Elm	1-3/4" Cal./10' Ht./5' Spr	Full, Specimen, Limb Ht. to be 5' Min.
SHRUBS					
BGC	14	<i>Buxus x 'Glennae'</i>	Chicagoland Green Boxwood	18" Min. Ht.	Full, 30" O.C.
BGM	8	<i>Buxus x 'Green Mountain'</i>	Green Mountain Boxwood	30" Min. Ht.	Full, See Plan for Locations
BWG	43	<i>Buxus x 'Wintergreen'</i>	Wintergreen Korean Boxwood	24" Min. Ht.	Full, 42" O.C.
ICD	177	<i>Ilex cornuta</i> 'Dwarf Burford'	Dwarf Burford Holly	24" Min. Ht.	Full, 42" O.C.
TMD	51	<i>Taxus x media</i> 'Densiformis'	Dense Yew	24" Min. Ht.	Full, 42" O.C.

Key Legend:
Cal/Ht/Spr/Cont: This column provides suggested plant size when installing; Cal=Caliper (diameter of the tree trunk); Ht= Height of foliage;
Spr= Spread (diameter of plant foliage; Cont= Container in Gallon size
Full: Plants shall have dense growth in height and width; ST: Single Trunk; MT: Multi-Trunk (3 Stems)
2nd Yr. Growth: A plant that has been growing for 2 years before install
FTG (Full to Ground): Plant has foliage from top to bottom
Specimen: Refers to Tree/Shrubs that shall be top grade for each species and type. Plants shall exhibit exceptionally heavy, symmetrical, appearance as be unquestionably and outstandingly superior in form, compactness and shape
Spacing: Refers to how far apart to plant plantings (from center to center of plants) when in massings. Otherwise, if plant stands alone, use scale on drawing to measure how far away to plant in relation to other plants



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615.715.1145



THE HUB AMENITY AND STREETSCAPE SUBMITTAL
BOWLING GREEN, WARREN COUNTY, KY
ENLARGED LANDSCAPE PLAN

DATE: 03-21-18
DESIGNED BY: AMH
DRAWN BY: CBW
CHECKED BY: CBW
Q.C. BY: CBW
SCALE: 1"=30'
PROJECT #: 17036
SHEET NUMBER:
L4.2



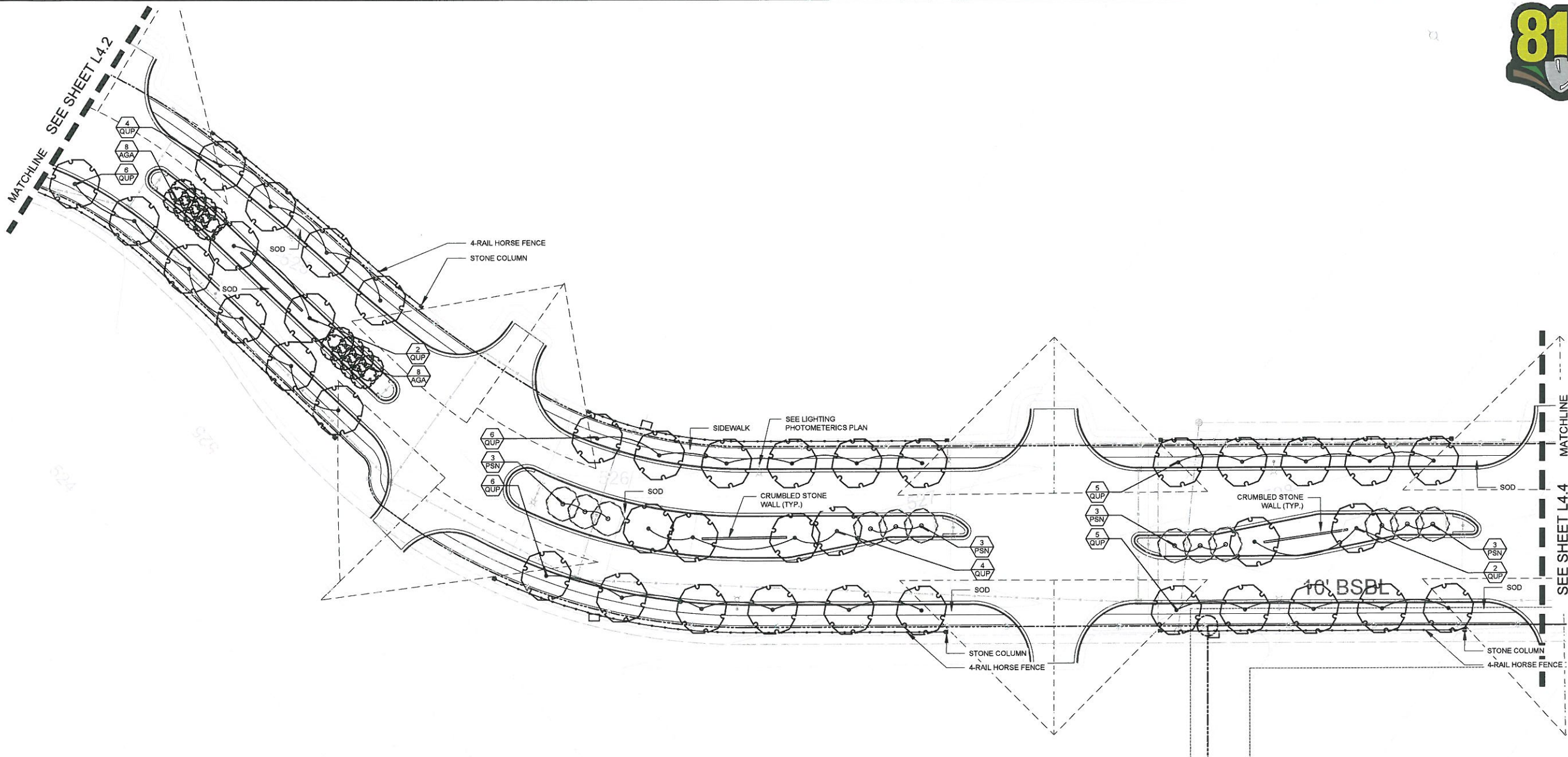
KV+D
KISER VOGGIN DESIGN
5005 Meridian Blvd., Ste. 100 Franklin, TN 37067
615.771.1943



THE HUB AMENITY AND STREETSCAPE SUBMITTAL
BOWLING GREEN, WARREN COUNTY, KY
ENLARGED LANDSCAPE PLAN

REVISIONS:

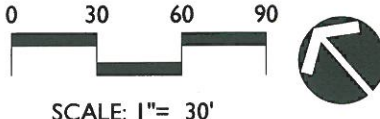
DATE: 02-21-18
DRAWN BY: AMH
CHECKED BY: CBW
G.C. BY: CBW
SCALE: 1"=30'
PROJECT #: 17036
SHEET NUMBER:
L4.3



L4.3 THE HUB ENTITLEMENT PLANT SCHEDULE					
ABBR.	QTY	BOTANICAL NAME	COMMON NAME	CAL/HT/SPR/CONT	NOTES
TREES					
AGA	16	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	'Autumn Brilliance' Serviceberry	6' Min. Ht.	Full, Specimen
PSN	12	<i>Prunus serrulata</i> 'Snowgoose'	Snowgoose Cherry	6' Min. Ht.	Full, Specimen
GUP	40	<i>Quercus phellos</i>	Willow Oak	1-3/4" Cal./10' Ht./5' Spr	Full, Specimen, Limb Ht. to be 5' Min.

Key Legend:
Cal/Ht/Spr/Cont: This column provides suggested plant size when installing; Cal=Caliper (diameter of the tree trunk); Ht= Height of foliage;
Spr= Spread (diameter of plant foliage; Cont= Container in Gallon size
Full: Plants shall have dense growth in height and width; ST: Single Trunk; MT: Multi-Trunk (3 Stems)
2nd Yr. Growth: A plant that has been growing for 2 years before install
FTG (Full to Ground): Plant has foliage from top to bottom
Specimen: Refers to Tree/Shrubs that shall be top grade for each species and type. Plants shall exhibit exceptionally heavy, symmetrical, appearance as be unquestionably and outstandingly superior in form, compactness and shape
Spacing: Refers to how far apart to plant plantings (from center to center of plants) when in massings. Otherwise, if plant stands alone, use scale on drawing to measure how far away to plant in relation to other plants

LEGEND	
SYM	DESCRIPTION
	SIGHT TRIANGLE
	PEDESTRIAN LIGHTING
	VEHICULAR LIGHTING
	BOLLARD LIGHTING





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THE HUB AMENITY AND STREETSCAPE SUBMITTAL
BOWLING GREEN, WARREN COUNTY, KY
ENLARGED LANDSCAPE PLAN

REVISIONS:

DATE: 03-21-18
DESIGNED BY: AMH
DRAWN BY: AMH
CHECKED BY: CBW
Q.C. BY: CBW
SCALE: 1"=30'
PROJECT #: 17036
SHEET NUMBER:

L4.4

MATCHLINE

SEE SHEET L4.3

L4.4A THE HUB ENTITLEMENT PLANT SCHEDULE

ABBR.	QTY	BOTANICAL NAME	COMMON NAME	CAL/HT/SPR/CONT	NOTES
TREES					
ARM	15	<i>Acer rubrum</i> 'October Glory'	October Glory Maple	1-3/4" Cal./10' Ht./5' Spr	Full, Specimen, Limb Ht. to be 5' Min.
AGA	19	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	'Autumn Brilliance' Serviceberry	6' Min. Ht.	Full, Specimen
IXO	4	<i>Ilex opaca</i>	American Holly	5' Min. Ht.	FTG, Specimen
MPR	10	<i>Malus x 'Prairifire'</i>	Prairifire Crab Apple	6' Min. Ht.	Full, Specimen
PSN	3	<i>Prunus serrulata</i> 'Snowgoose'	Snowgoose Cherry	6' Min. Ht.	Full, Specimen
TOG	21	<i>Thuja occidentalis</i> 'Green Giant'	Green Giant Arborvitae	5' Min. Ht.	FTG, Specimen

Key Legend:

Cal/Ht/Spr/Cont: This column provides suggested plant size when installing; Cal=Caliper (diameter of the tree trunk); Ht= Height of foliage;

Spr= Spread (diameter of plant foliage; Cont= Container in Gallon size

Full: Plants shall have dense growth in height and width; ST: Single Trunk; MT: Multi-Trunk (3 Stems)

2nd Yr. Growth: A plant that has been growing for 2 years before install

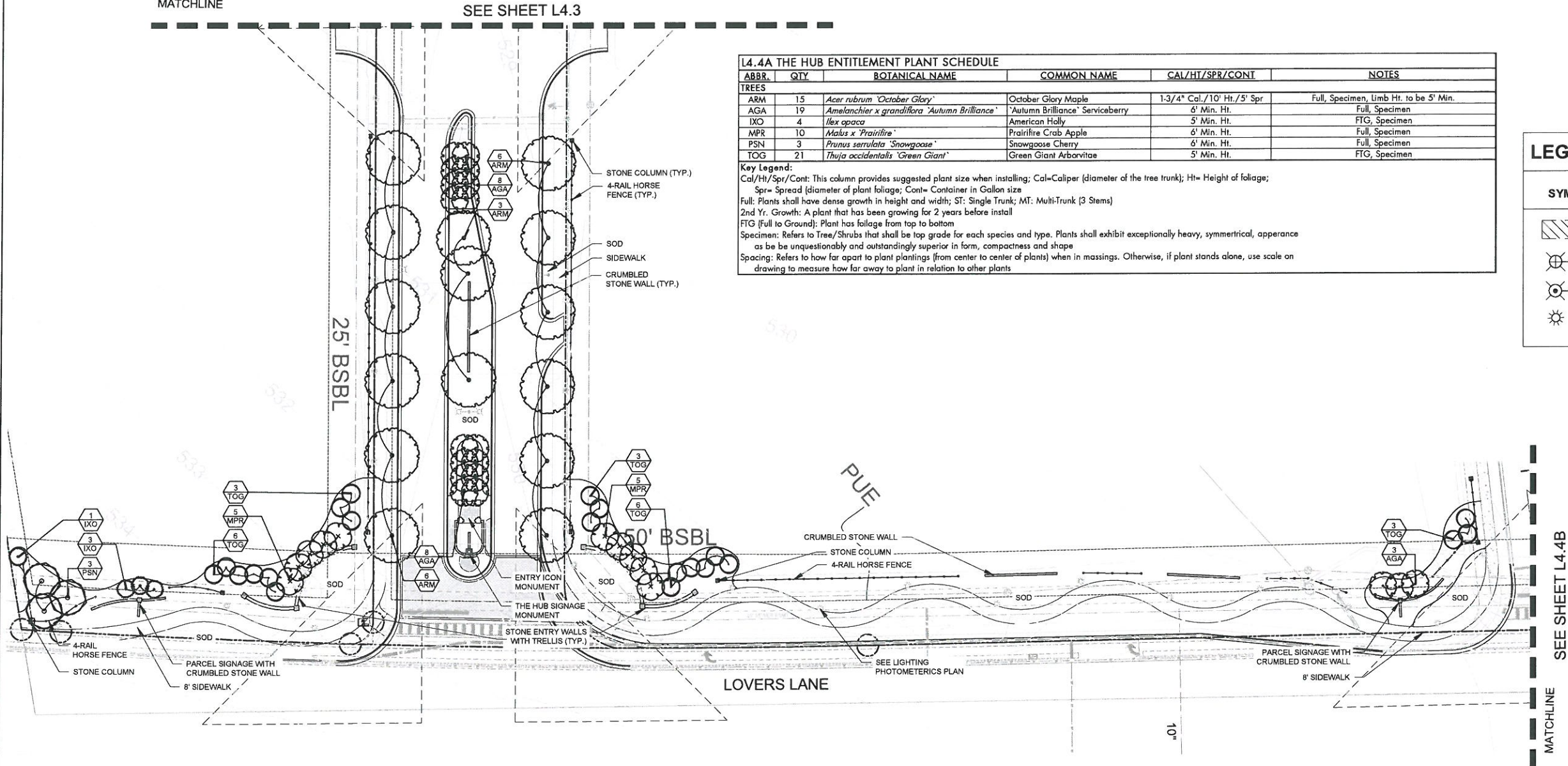
FTG (Full to Ground): Plant has foliage from top to bottom

Specimen: Refers to Tree/Shrubs that shall be top grade for each species and type. Plants shall exhibit exceptionally heavy, symmetrical, appearance as be be unquestionably and outstandingly superior in form, compactness and shape

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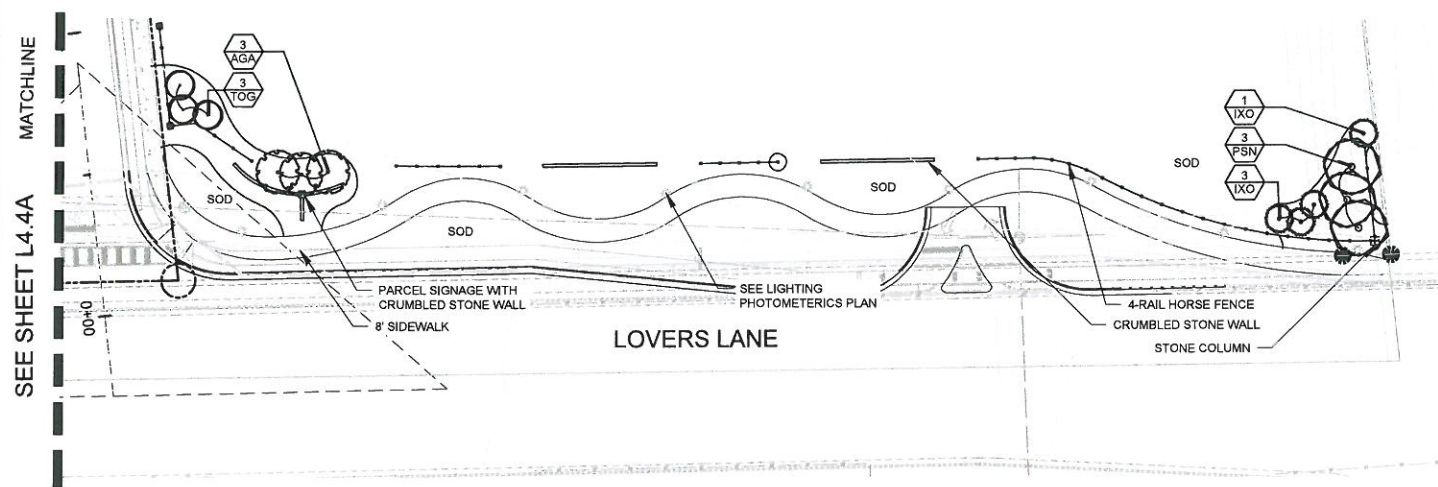
LEGEND

SYM	DESCRIPTION
	SIGHT TRIANGLE
	PEDESTRIAN LIGHTING
	VEHICULAR LIGHTING
	BOLLARD LIGHTING



L4.4A THE HUB ENLARGED LANDSCAPE PLAN

L4.4B THE HUB ENLARGED LANDSCAPE PLAN



L4.4B THE HUB ENTITLEMENT PLANT SCHEDULE

ABBR.	QTY	BOTANICAL NAME	COMMON NAME	CAL/HT/SPR/CONT	NOTES
TREES					
AGA	3	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	'Autumn Brilliance' Serviceberry	6' Min. Ht.	Full, Specimen
IXO	4	<i>Ilex opaca</i>	American Holly	5' Min. Ht.	FTG, Specimen
PSN	3	<i>Prunus serrulata</i> 'Snowgoose'	Snowgoose Cherry	6' Min. Ht.	Full, Specimen
TOG	3	<i>Thuja occidentalis</i> 'Green Giant'	Green Giant Arborvitae	5' Min. Ht.	FTG, Specimen

Key Legend:

Cal/Ht/Spr/Cont: This column provides suggested plant size when installing; Cal=Caliper (diameter of the tree trunk); Ht= Height of foliage;

Spr= Spread (diameter of plant foliage; Cont= Container in Gallon size

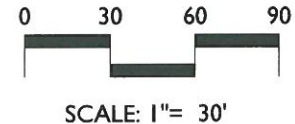
Full: Plants shall have dense growth in height and width; ST: Single Trunk; MT: Multi-Trunk (3 Stems)

2nd Yr. Growth: A plant that has been growing for 2 years before install

FTG (Full to Ground): Plant has foliage from top to bottom

Specimen: Refers to Tree/Shrubs that shall be top grade for each species and type. Plants shall exhibit exceptionally heavy, symmetrical, appearance as be be unquestionably and outstandingly superior in form, compactness and shape

Spacing: Refers to how far apart to plant plantings (from center to center of plants) when in massings. Otherwise, if plant stands alone, use scale on drawing to measure how far away to plant in relation to other plants





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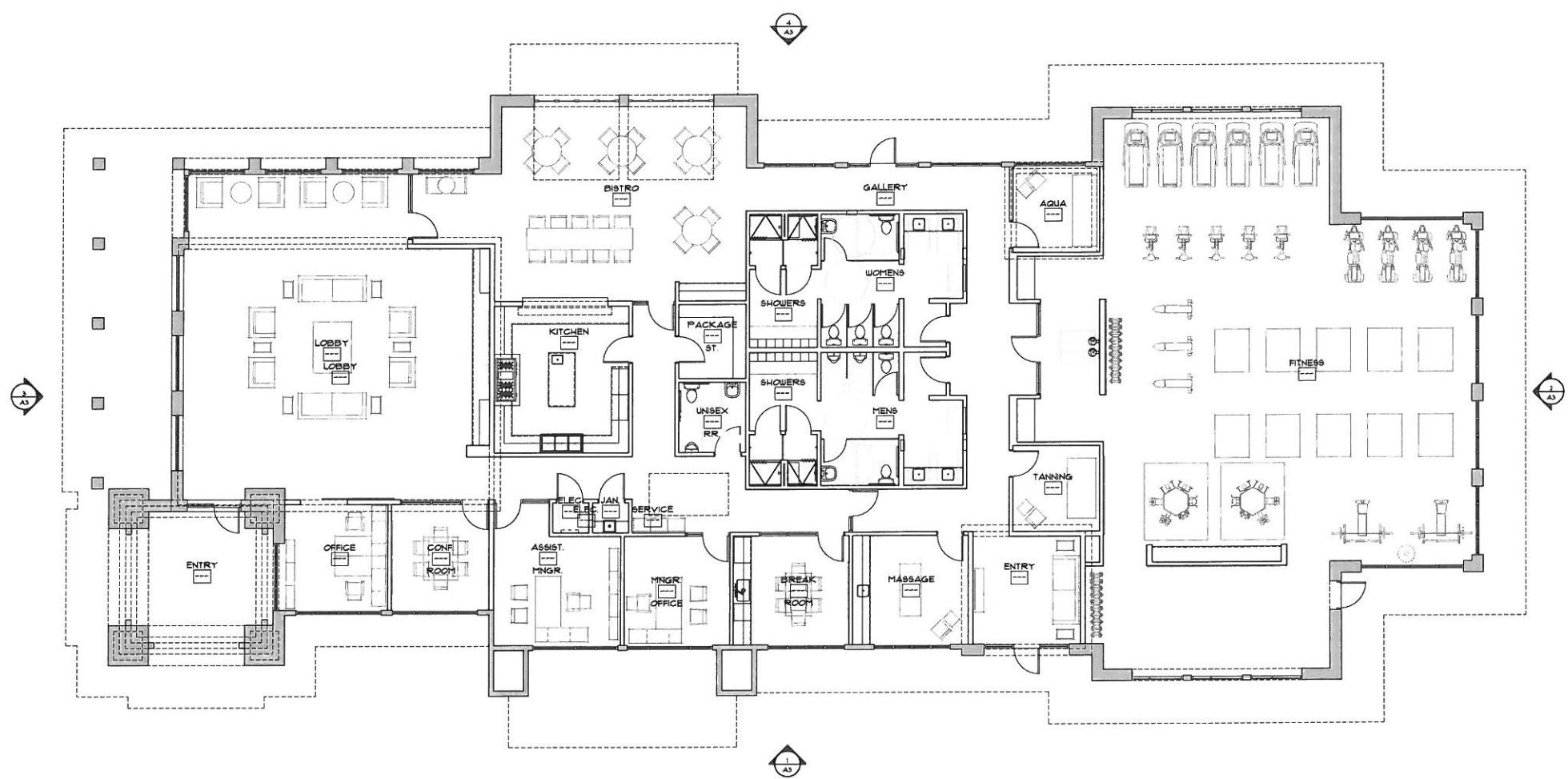
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ISSUE:	

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A1



CLUBHOUSE SQUARE FOOTAGE:

A/C SF:	8,863	SF
NON A/C SF:	130	SF
TOTAL SF:	8,993	SF
UNDER ROOF:	11,931	SF

CLUBHOUSE FLOOR PLAN
SCALE: 1/8" = 1'-0"



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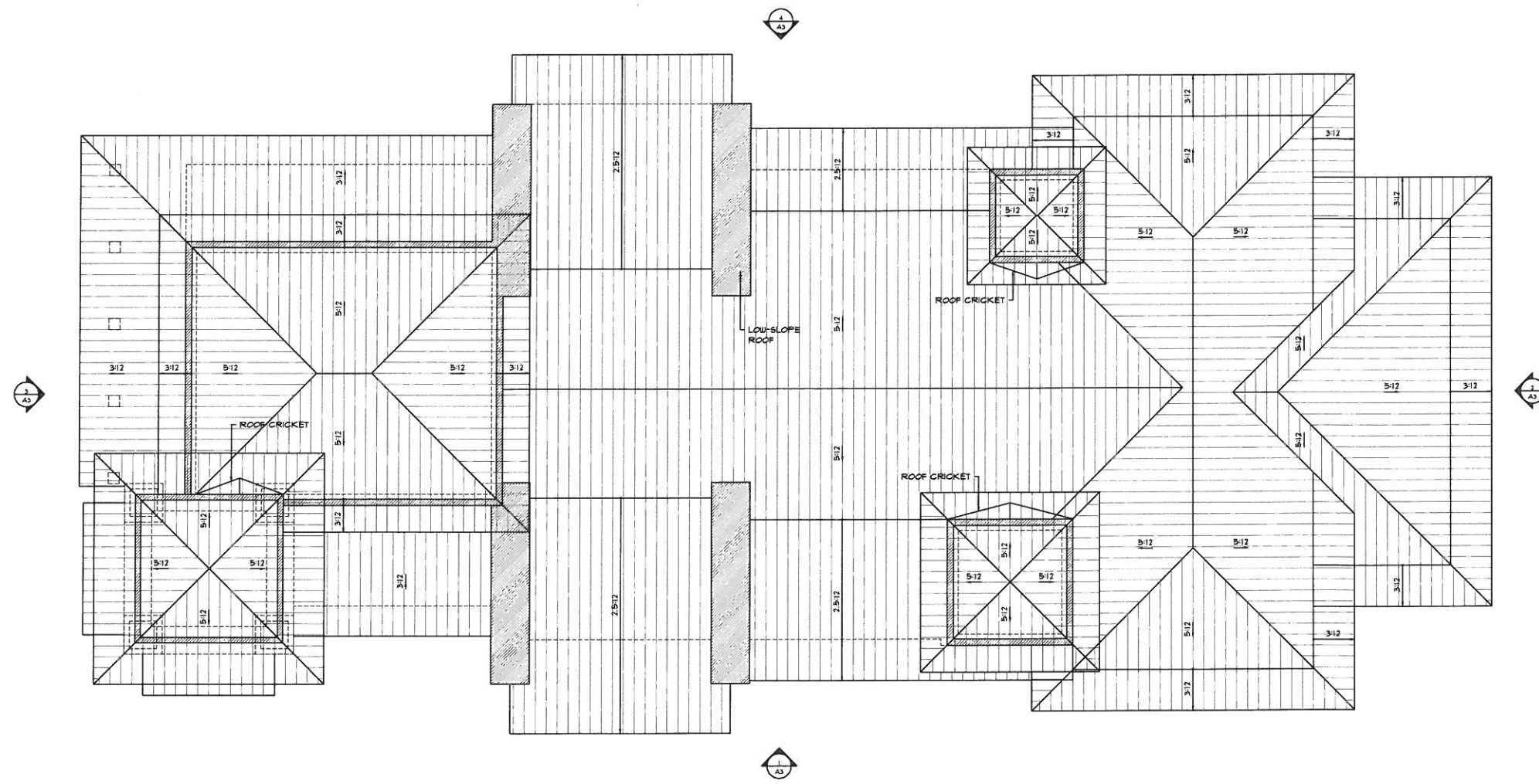
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PR NO 17179

A2



CLUBHOUSE SQUARE FOOTAGE:

A/C SF:	8,863	SF
NON A/C SF:	130	SF
TOTAL SF:	8,993	SF
UNDER ROOF:	11,331	SF

CLUBHOUSE ROOF PLAN
SCALE: 1/8" = 1'-0"



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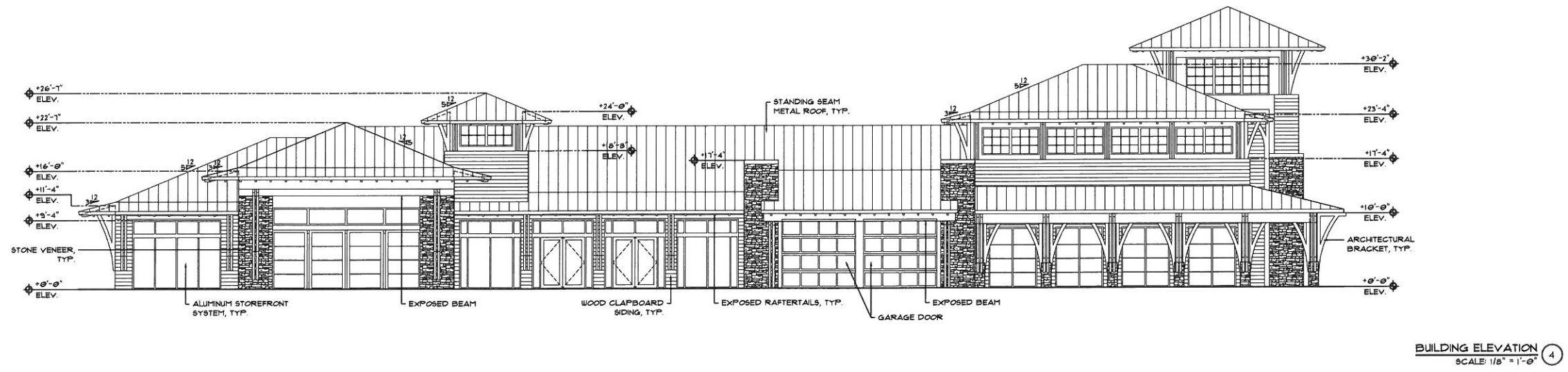
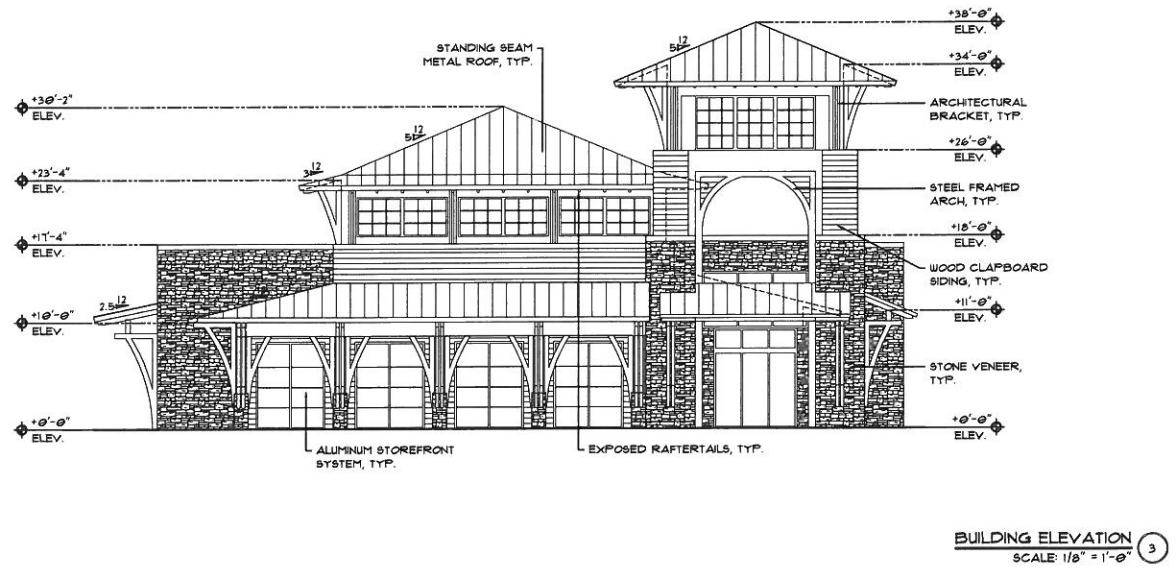
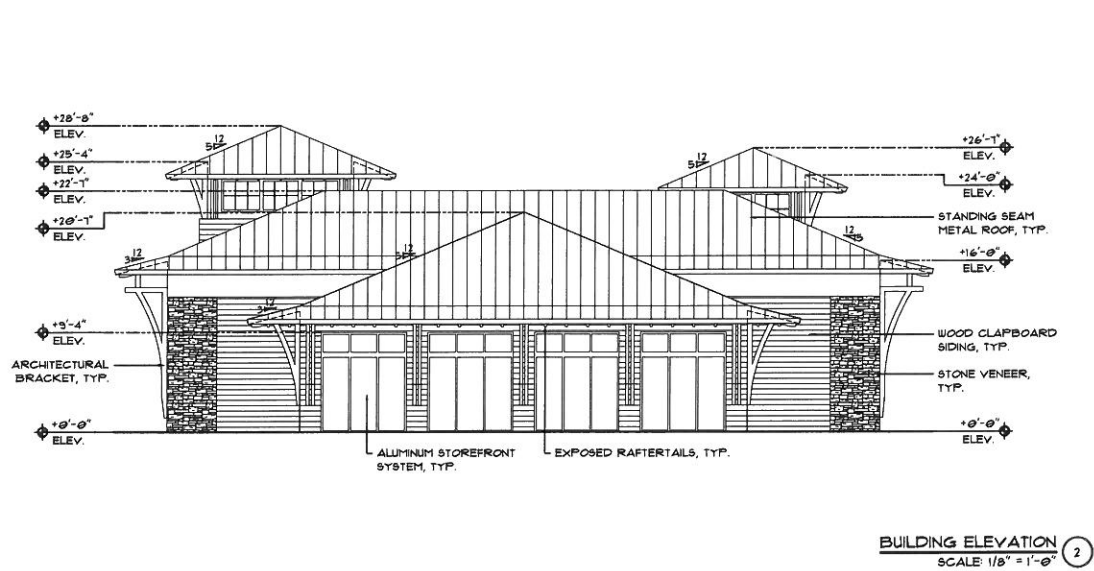
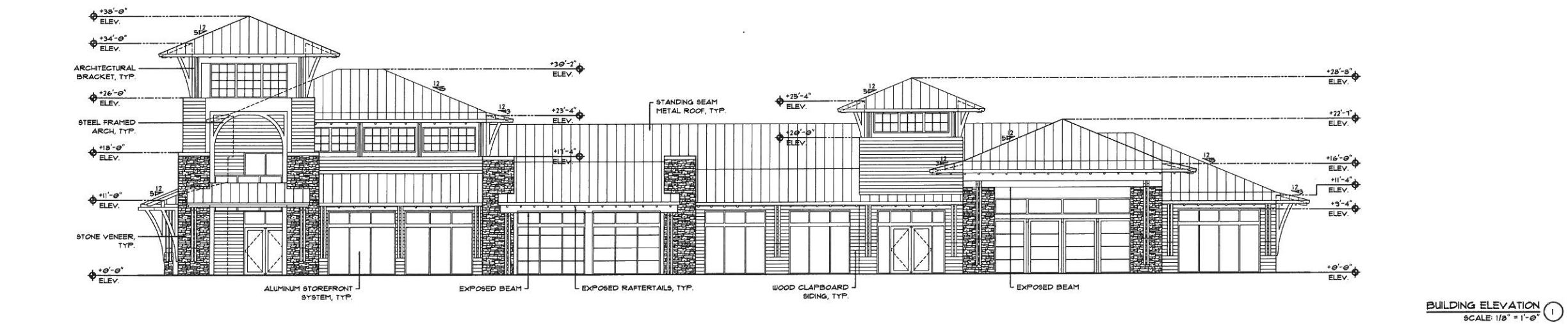
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A3



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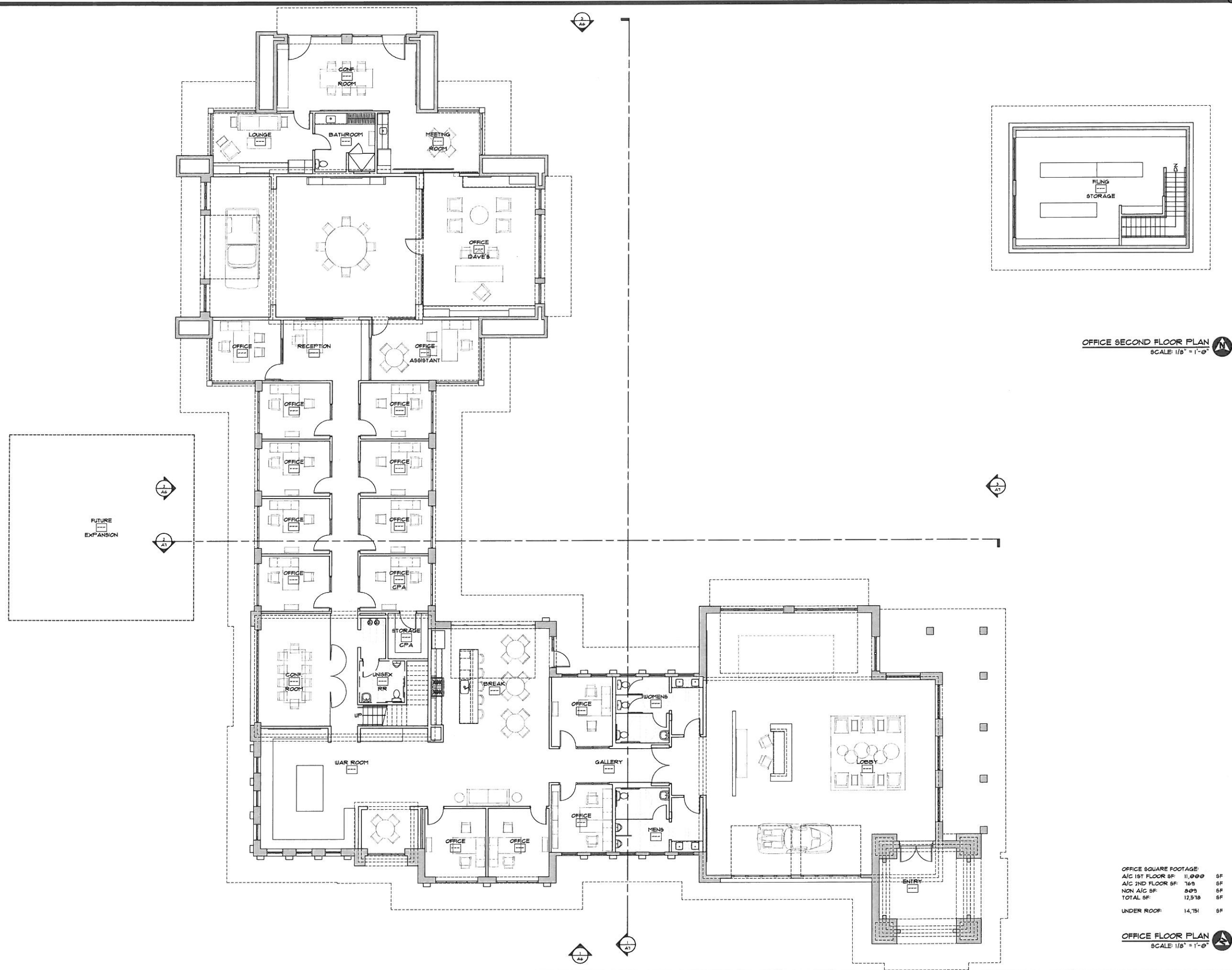
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A4

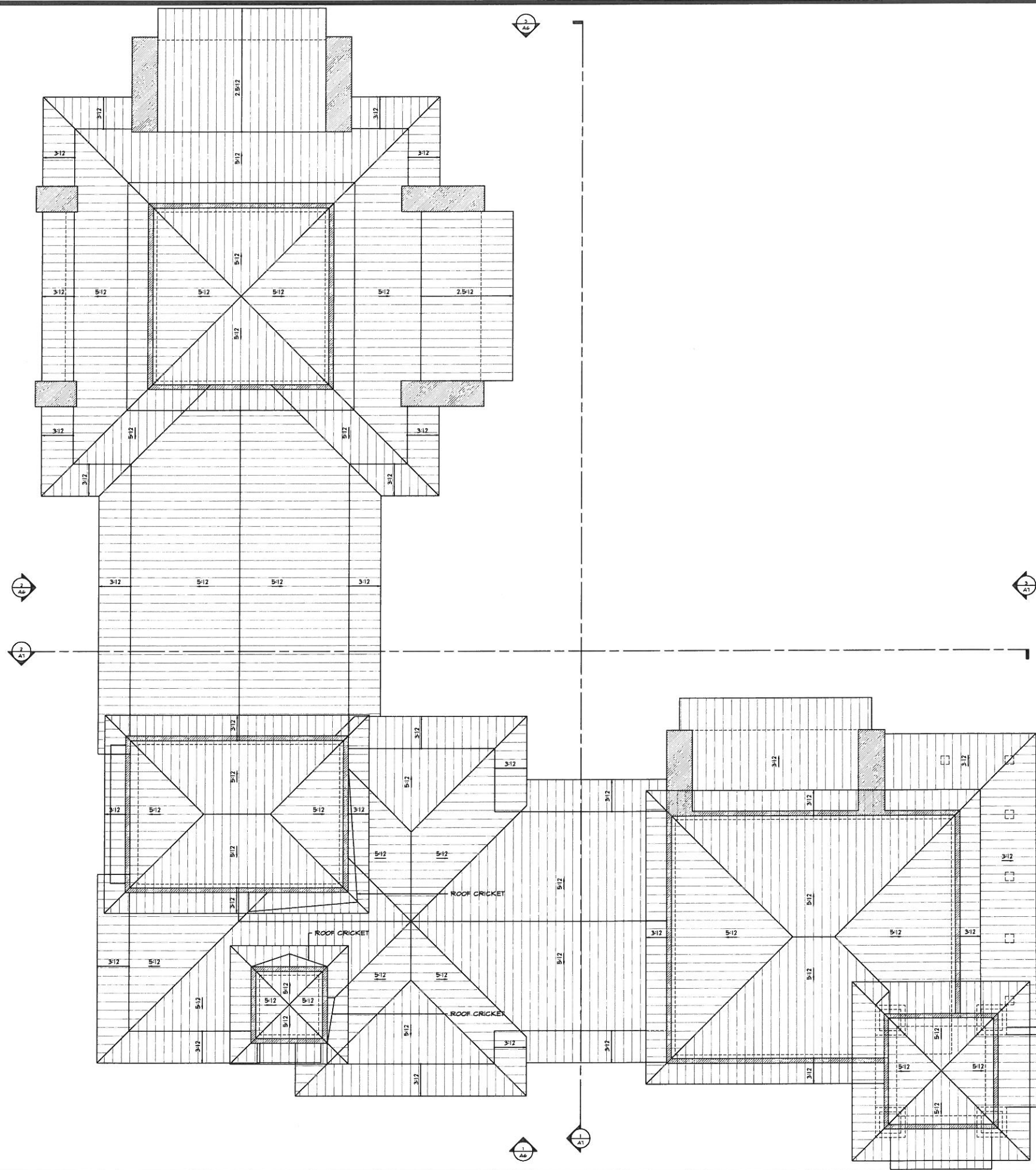


OFFICE SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

OFFICE SQUARE FOOTAGE:

A/C 1ST FLOOR SF:	11,000	SF
A/C 2ND FLOOR SF:	765	SF
NON A/C SF:	805	SF
TOTAL SF:	12,570	SF
UNDER ROOF:	14,151	SF

OFFICE FLOOR PLAN
SCALE: 1/8" = 1'-0"



OFFICE SQUARE FOOTAGE:

A/C 1ST FLOOR SF:	11,000	SF
A/C 2ND FLOOR SF:	763	SF
NON A/C SF:	203	SF
TOTAL SF:	12,966	SF
UNDER ROOF:	14,151	SF

OFFICE ROOF PLAN
SCALE: 1/8" = 1'-0"

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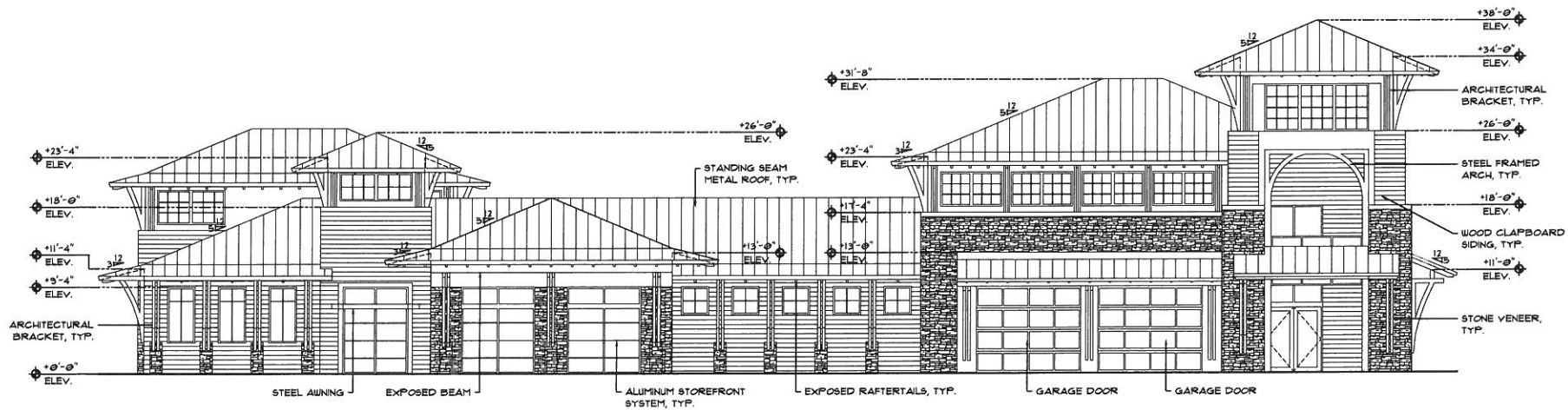


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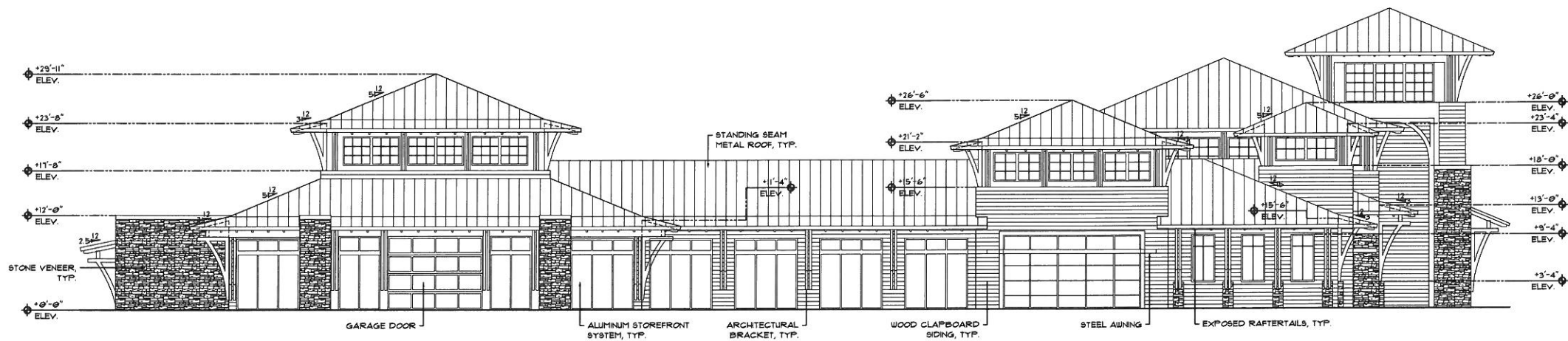
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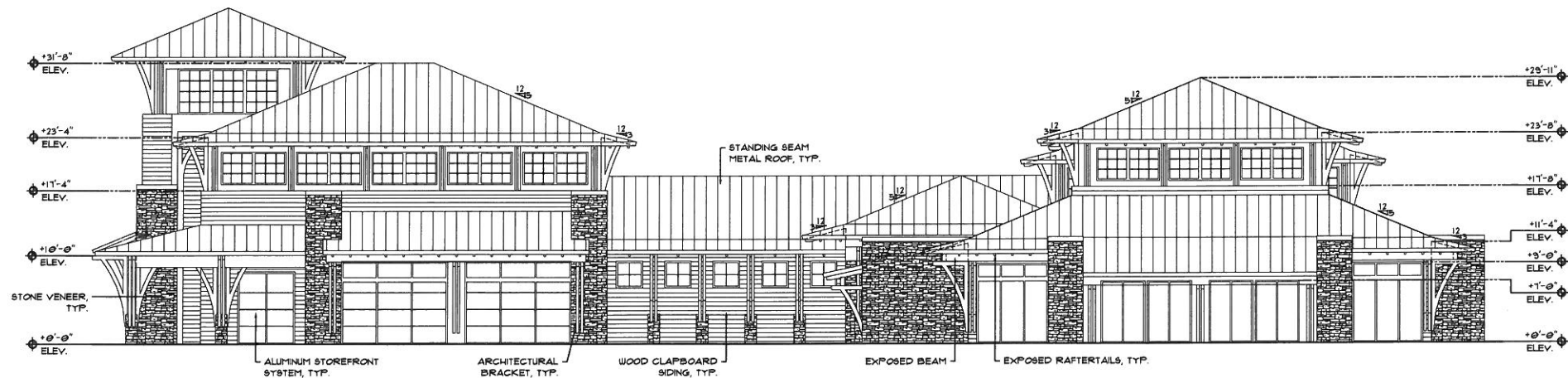
A6



BUILDING ELEVATION 1
SCALE: 1/8" = 1'-0"



BUILDING ELEVATION 2
SCALE: 1/8" = 1'-0"



BUILDING ELEVATION 3
SCALE: 1/8" = 1'-0"

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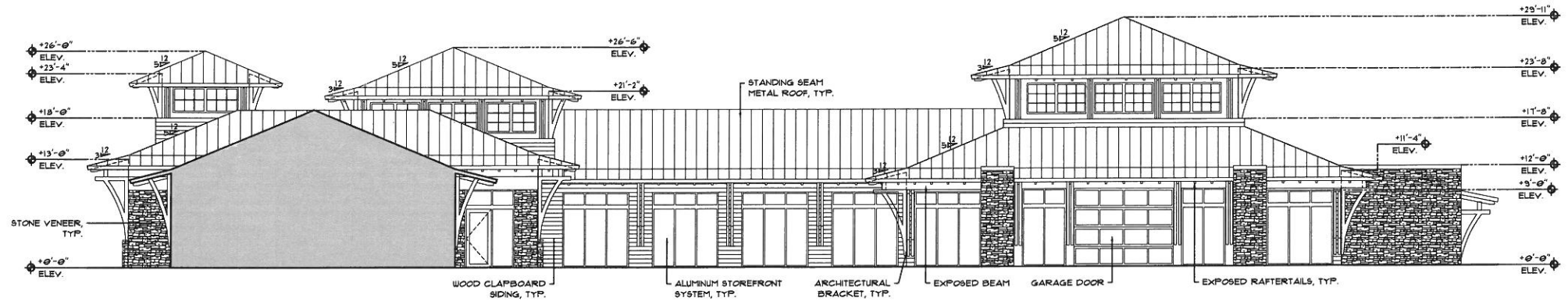
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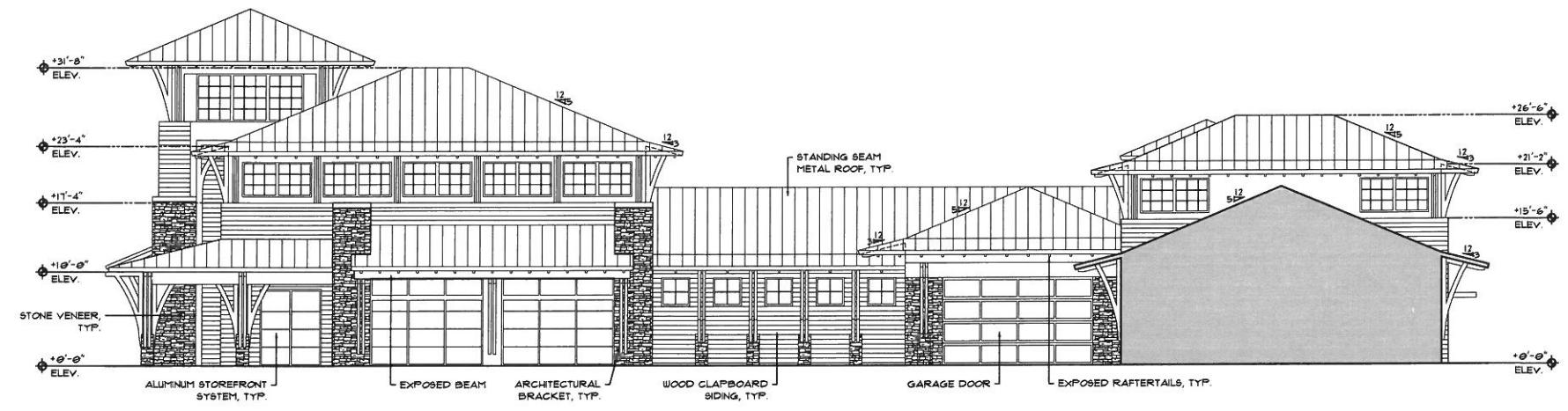
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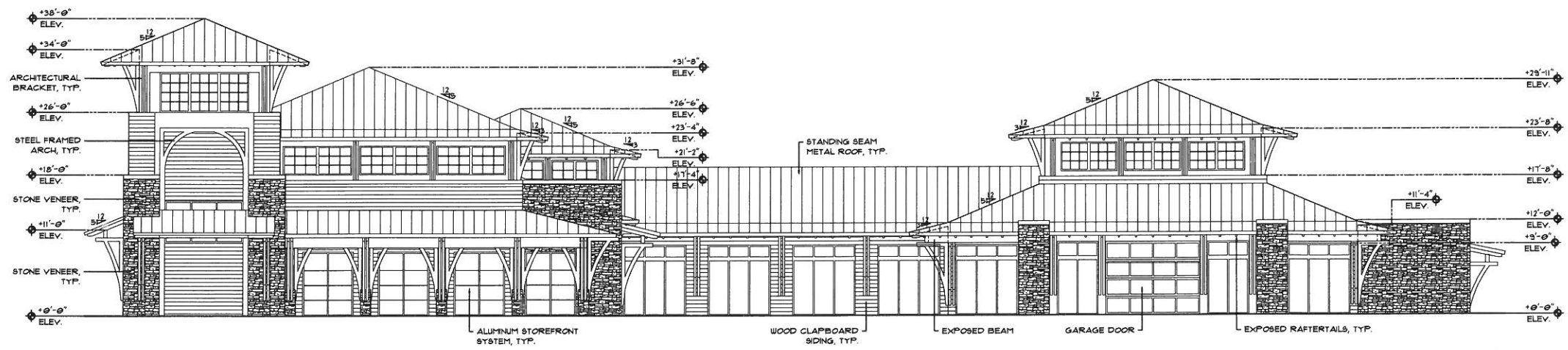
A1



BUILDING ELEVATION 1
SCALE: 1/8" = 1'-0"



BUILDING ELEVATION 2
SCALE: 1/8" = 1'-0"



BUILDING ELEVATION 3
SCALE: 1/8" = 1'-0"



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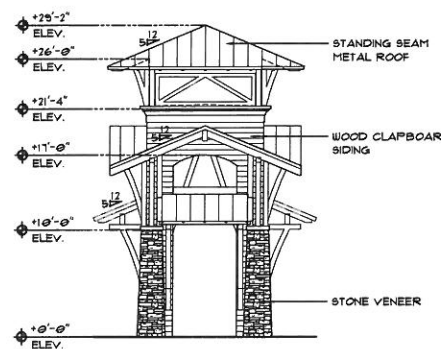
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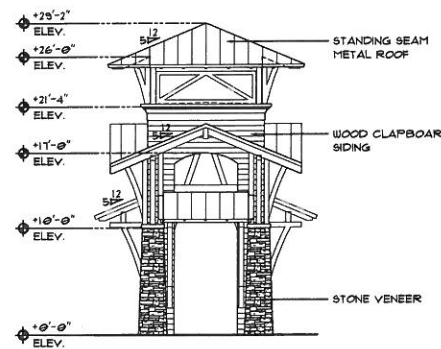
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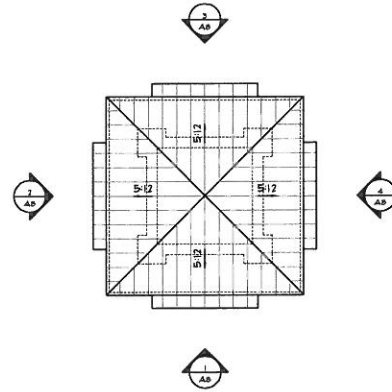
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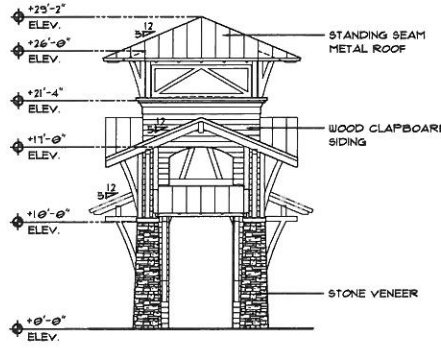
BUILDING ELEVATION 1
SCALE: 1/8" = 1'-0"



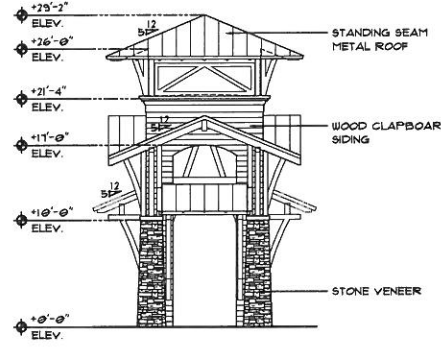
BUILDING ELEVATION 2
SCALE: 1/8" = 1'-0"



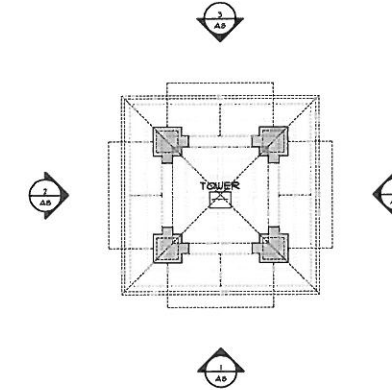
TOWER ROOF PLAN
SCALE: 1/8" = 1'-0"



BUILDING ELEVATION 3
SCALE: 1/8" = 1'-0"



BUILDING ELEVATION 4
SCALE: 1/8" = 1'-0"



TOWER SQUARE FOOTAGE:

A/C SF:	0	SF
NON A/C SF:	160	SF
TOTAL SF:	160	SF
UNDER ROOF:	394	SF

TOWER FLOOR PLAN
SCALE: 1/8" = 1'-0"

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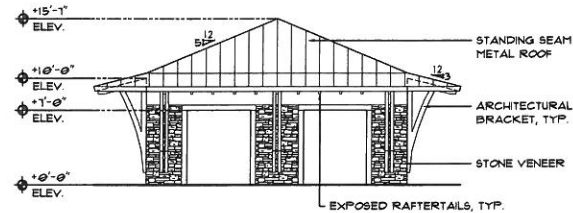
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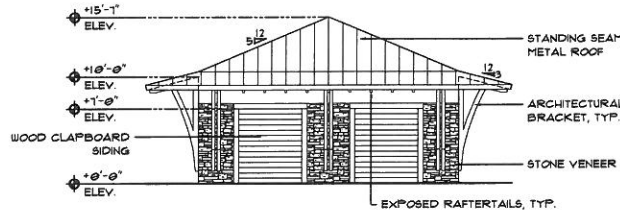
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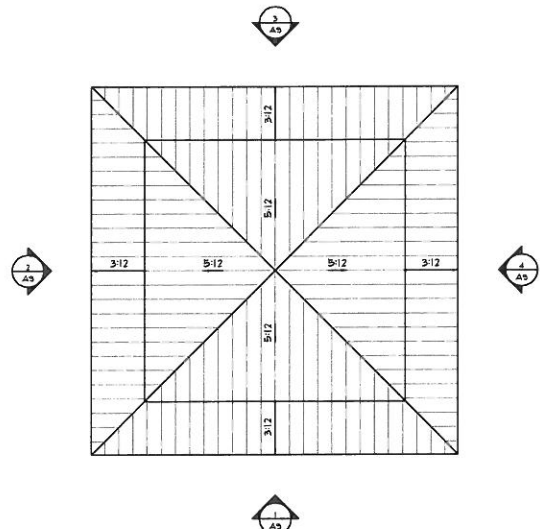
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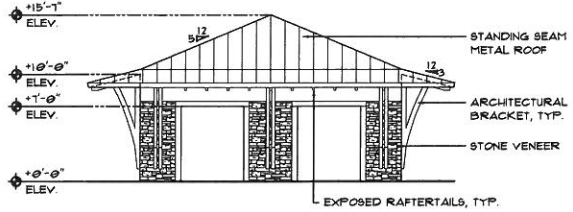
BUILDING ELEVATION 1
SCALE: 1/8" = 1'-0"



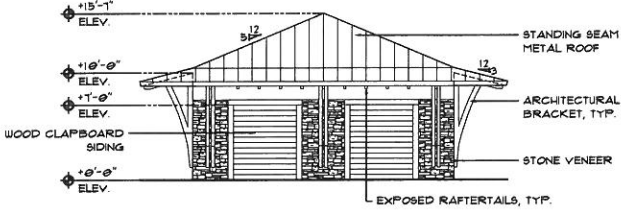
BUILDING ELEVATION 2
SCALE: 1/8" = 1'-0"



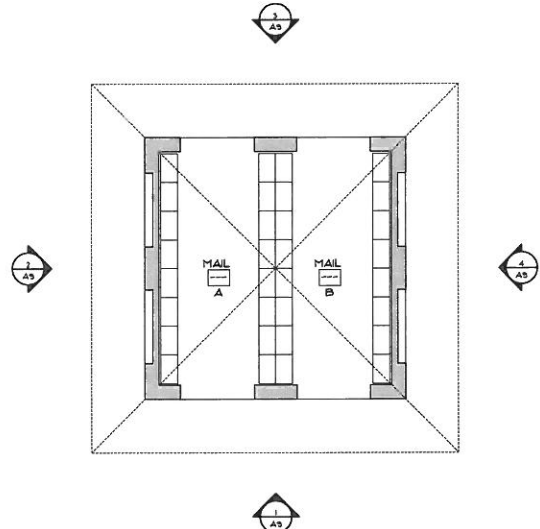
MAIL HOUSE ROOF PLAN
SCALE: 1/8" = 1'-0"



BUILDING ELEVATION 3
SCALE: 1/8" = 1'-0"



BUILDING ELEVATION 4
SCALE: 1/8" = 1'-0"



MAIL HOUSE SQUARE FOOTAGE:		
A/C SF:	0	SF
NON A/C SF:	600	SF
TOTAL SF:	600	SF
UNDER ROOF:	1,190	SF

MAIL HOUSE FLOOR PLAN
SCALE: 1/8" = 1'-0"

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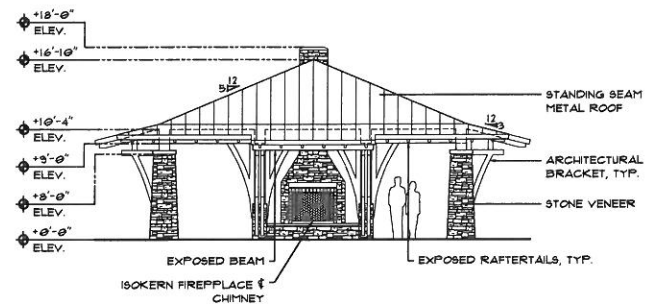
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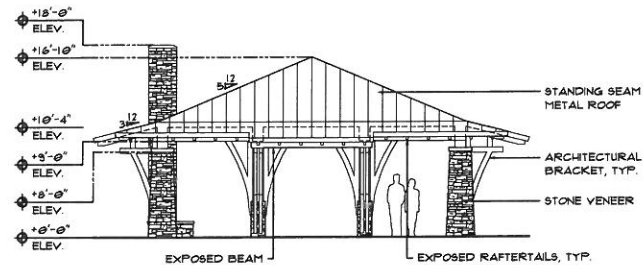
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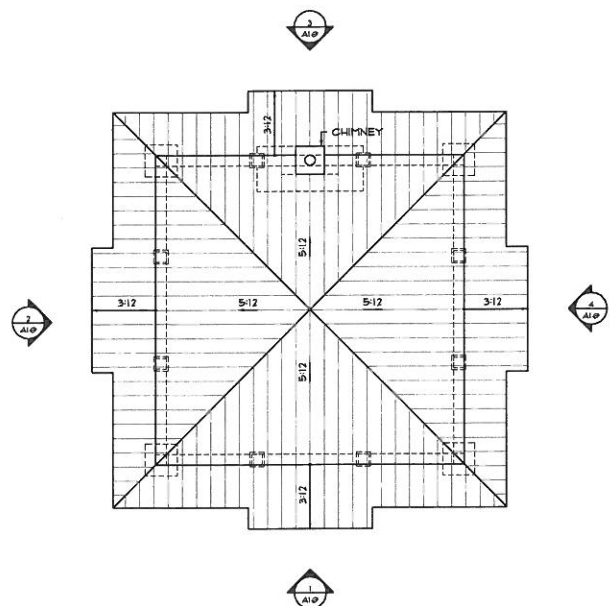
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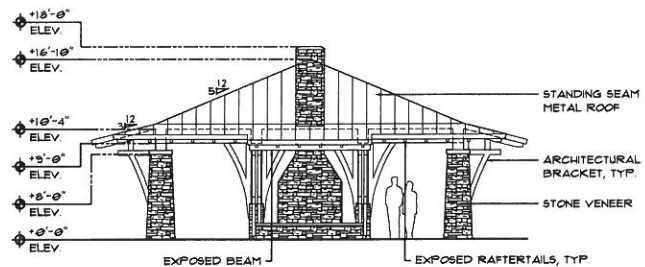
BUILDING ELEVATION ①
SCALE: 1/8" = 1'-0"



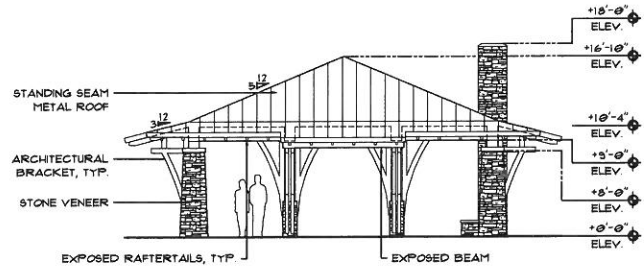
BUILDING ELEVATION ②
SCALE: 1/8" = 1'-0"



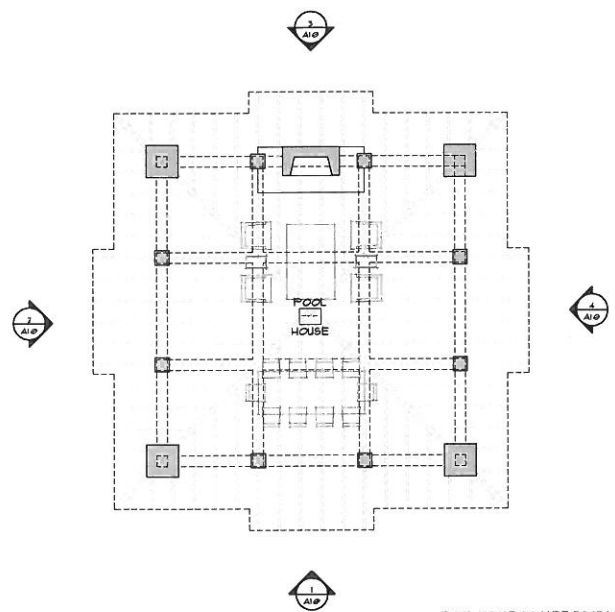
POOL HOUSE ROOF PLAN
SCALE: 1/8" = 1'-0"



BUILDING ELEVATION ③
SCALE: 1/8" = 1'-0"



BUILDING ELEVATION ④
SCALE: 1/8" = 1'-0"



POOL HOUSE SQUARE FOOTAGE

A/C SF:	0	SF
NON A/C SF:	960	SF
TOTAL SF:	960	SF
UNDER ROOF:	1,462	SF

POOL HOUSE FLOOR PLAN
SCALE: 1/8" = 1'-0"



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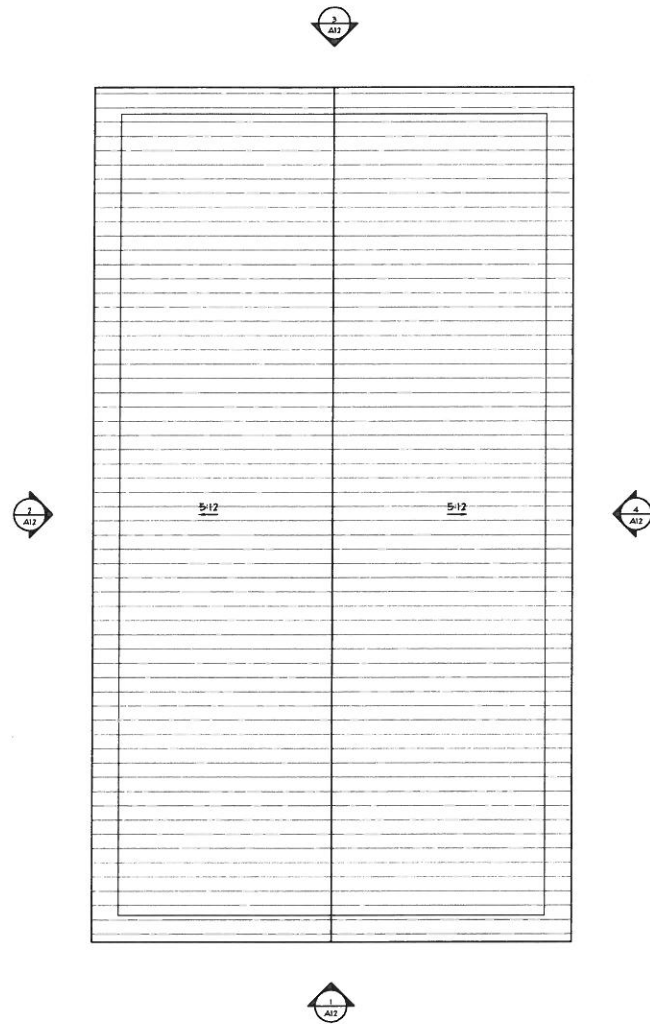
THE HUB
AMENITY & STREETSCAPE
BOWLING GREEN, KENTUCKY



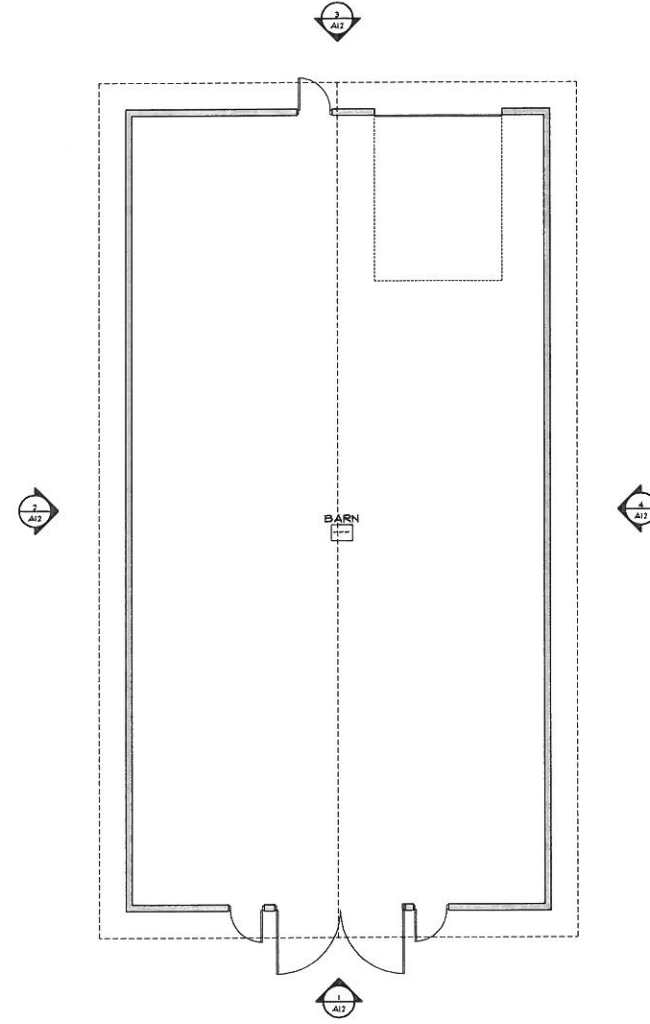
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BARN ROOF PLAN
SCALE 1/8" = 1'-0"



TOWER SQUARE FOOTAGE:		
A/C SF:	0	SF
NON A/C SF:	3,000	SF
TOTAL SF:	3,000	SF
UNDER ROOF:	3,600	SF

BARN FLOOR PLAN
SCALE 1/8" = 1'-0"

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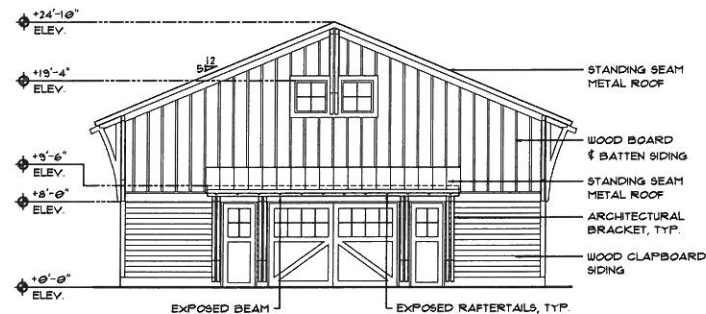
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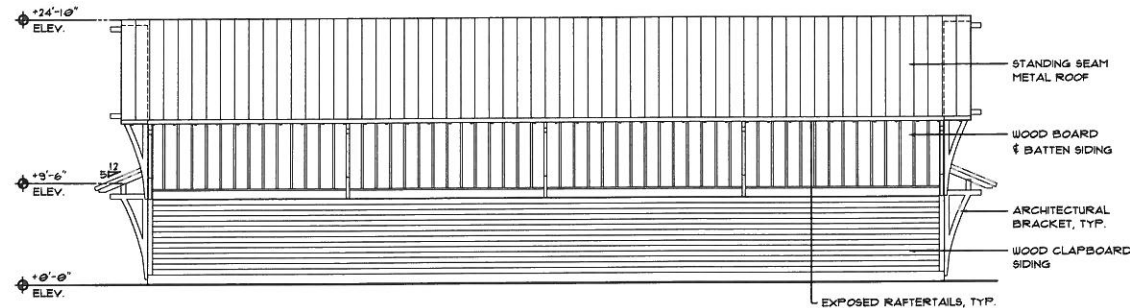
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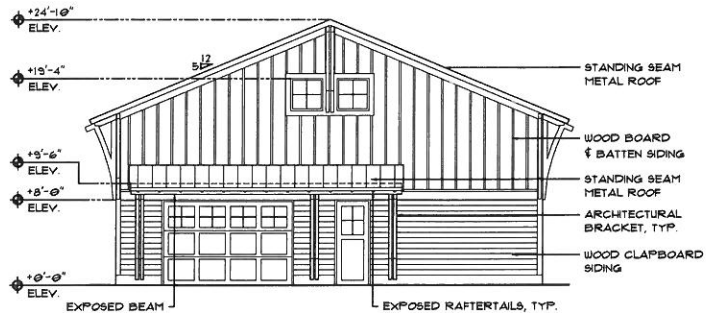
A12



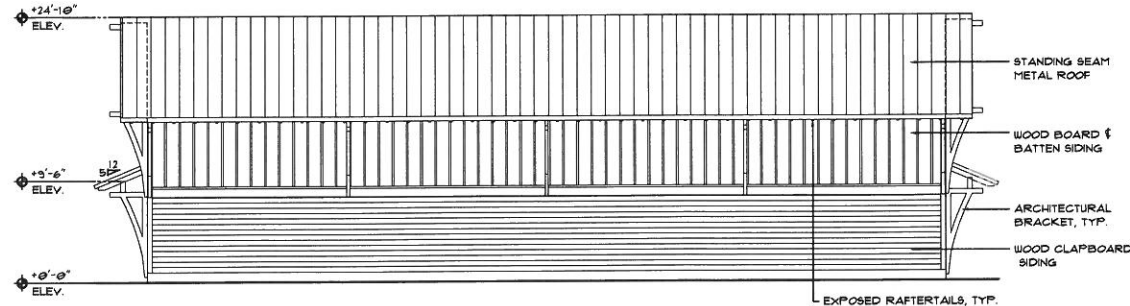
BUILDING ELEVATION 1
SCALE: 1/8" = 1'-0"



BUILDING ELEVATION 2
SCALE: 1/8" = 1'-0"



BUILDING ELEVATION 3
SCALE: 1/8" = 1'-0"



BUILDING ELEVATION 4
SCALE: 1/8" = 1'-0"